

PROPOSAL FOR 2013-1

CHILDREN'S WING ADDITION

LEON VALLEY PUBLIC LIBRARY

INDEX OF DRAWINGS

GENERAL
G10 COVER & INDEX OF DRAWINGS & GENERAL NOTES
G11 CODE ANALYSIS

ARCHITECTURAL

A11 DEMOLITION SITE PLAN
A12 NEW SITE PLAN & ROOF PLAN
A13 SITE DETAILS
A21 DEMOLITION FLOOR PLAN
A22 NEW FLOOR PLAN & ENLARGED
A23 REFLECTED CEILING PLAN
A31 EXTERIOR ELEVATIONS
A32 EXTERIOR ELEVATIONS
A41 BUILDING SECTIONS
A51 WALL SECTIONS
A52 WALL SECTIONS
A61 INTERIOR ELEVATIONS
A62 INTERIOR ELEVATIONS
A63 INTERIOR ELEVATIONS
A71 DETAILS
A81 SCHEDULES

STRUCTURAL

S11 FOUNDATION & ROOF FRAMING PLANS
S21 SECTIONS & DETAILS
S22 SECTIONS & DETAILS
S31 GENERAL NOTES & SECTIONS & DETAIL

MECHANICAL

M-01 MECHANICAL LEGEND SYMBOLS & ABBREVIATIONS
MD11 FLOOR PLAN DEMO - HVAC
M-11 FLOOR PLAN HVAC
M-21 MECHANICAL DETAILS

PLUMBING

P-01 PLUMBING LEGEND SYMBOLS & ABBREVIATIONS
PD-11 FLOOR PLAN DEMO - PLUMBING
P-11 FLOOR PLAN PLUMBING

ELECTRICAL

E-01 SYMBOLS & ABBREVIATIONS
E-02 SITE PLAN - ELECTRICAL
ED-11 FLOOR PLAN DEMO - ELECTRICAL
E-11 FLOOR PLAN LIGHTING
E-21 FLOOR PLAN POWER & SIGNAL
E-31 ONE-LINE DIAGRAM PANEL SCHEDULES

6425 EVERS, LEON VALLEY, TEXAS 78238

PROJECT ADDRESS

6425 EVERS RD.
LEON VALLEY, TX 78238-1453
LEGAL DESCRIPTION
CB 4445 P-30B AB6 141

LAND DESCRIPTION

R/1 FAMILY NOT FARM SINGLE
2.9800 ACRES 129,808.80 SQ FT

PROJECT CONTACTS

OWNER
CITY OF LEON VALLEY
6420 EL VERDE RD.
SAN ANTONIO, TX 78238-2399
PHONE: 210-648-1391
FAX: 210-684-6988
WWW.LEONVALLEYTEXAS.GOV

ARCHITECT

RICHARD MOGAS & ASSOCIATES,
ARCHITECTS, AIA
317 LEXINGTON SUITE #4
SAN ANTONIO, TX 78215
PHONE: 210-226-2220
FAX: 210-226-1846
RMOGAS@RICHARDMOGAS.COM

CONTRACTOR

Crownhill Builders
8400 Blanco Rd. Ste. 302
San Antonio, TX 78216
P: 210.334.0291
F: 210.349.0191
Email: crownhill@cbinc.net

STRUCTURAL:

ACCUTECH CONSULTING, LLC
909 N.E. LOOP 410, SUITE 900
SAN ANTONIO, TEXAS 78209
T (210) 930-5355 F (210)
930-5460
Email: rmartinez@accutechusa.com

MECHANICAL/ELECTRICAL/PLUMBING:

HMG & ASSOCIATES INC.
10 N.E. LOOP 410, SUITE 1010
SAN ANTONIO, TEXAS 78216
T (210) 349-0800 F (210)
349-2136
Email: martin@hmg-associates.com

CODE INFORMATION

STANDARDS AND REGULATIONS

APPLICABLE STANDARDS OF CONSTRUCTION INDUSTRY AND BUILDING CODES HAVE THE SAME FORCE AND AFFECT ON PERFORMANCE OF THE WORK AS IF COPIED DIRECTLY INTO CONTRACT DOCUMENTS. GOVERNING REGULATIONS HAVE PRECEDENCE OVER NONREFERENCED STANDARDS, IN SO FAR AS DIFFERENT STANDARDS MAY CONTAIN OVERLAPPING OR CONFLICTING REQUIREMENTS. COMPLY WITH LOCAL BUILDING CODES AND INDUSTRY STANDARDS. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE TO THESE STANDARDS AND REGULATIONS AND FOR THE CONSTRUCTION PERMITS. THE INSTALLATION SHALL MEET THE MINIMUM STANDARD PRESCRIBED IN THE LATEST EDITION OF THE FOLLOWING STANDARD:

1. BUILDING CODES.....2006 INTERNATIONAL BUILDING CODE
2. PLUMBING CODE.....2006 INTERNATIONAL PLUMBING CODE
3. MECHANICAL CODE.....2006 INTERNATIONAL MECHANICAL CODE
4. ELECTRICAL CODE.....2009 NATIONAL ELECTRIC CODE
5. FIRE/LIFE SAFETY CODE.....2006 INTERNATIONAL FIRE/LIFE SAFETY CODE
6. ADA.....2012 ADA REGULATIONS AND STANDARDS FOR ACCESSIBLE DESIGN

TYPE OF CONSTRUCTION (EXISTING BUILDING) 1 STORY, TYPE IIB
TYPE OF CONSTRUCTION (NEW ADDITION) 1 STORY, TYPE IIB

BUILDING HEIGHT

BUILDING AREA'S

BUILDING ADDITION
SQUARE FOOTAGE CALCULATIONS
STACKS / READING AREA 3832 SF
STORAGE 51 SF
MECHANICAL 10 SF
WALLS, COLUMNS, ETC 211 SF
TOTAL SQUARE FOOTAGE 4230 SF

REMODELED AREA

MEN'S 100 SF
WOMEN'S 100 SF
MEETING ROOM 442 SF
STORAGE 63 SF
JANITORS CLOSET 10 SF
TOTAL SQUARE FOOTAGE 715 SF

EXISTING LIBRARY 5310 SF
TOTAL AIR CONDITIONED SPACE 10255 SF

GENERAL NOTES:

1. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A WATERTIGHT AND WEATHER TIGHT BUILDING. THE CONTRACTOR SHALL REVIEW ALL DETAILS RELATING TO THIS INTENT AND BY ENTERING INTO THIS CONSTRUCTION CONTRACT WARRANTS FOR ONE FULL YEAR THE ADEQUACY OF THESE DETAILS.

2. THE INTENT OF THE DRAWING IS TO PROVIDE FOR A PLUMB, LEVEL AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED.

3. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH CURRENT INTERNATIONAL COMMERCIAL BUILDING CODE AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE AND SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF OR HERSELF WITH EXISTING CONDITIONS, DRAWINGS AND SPECIFICATIONS.

5. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND SHOULD BE FIELD VERIFIED AND COORDINATED WITH WORK OF ALL TRADES.

6. DETAILS ARE MEANT TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, ALL INCLUDED AS PART OF THE WORK.

7. THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.

8. THE CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PADS AND PANELS, AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT AND EQUIPMENT MANUFACTURERS.

9. ALL WIDTHS ARE SHOWN AND DIMENSIONED WITH NOMINAL DIMENSIONS (I.E. 6" = 5 1/2").

10. CONTRACTOR TO PROVIDE DUMPSTER AND TEMPORARY TOILET. SITE SHOULD BE CLEANED REGULARLY AND CARE SHOULD BE TAKEN TO PROTECT ADJOINING PROPERTIES FROM DAMAGE, TRASH OR ENCROACHMENT.

11. ALL DIMENSIONS ARE TO FACE OF STUD OR WALL FACE UNLESS OTHERWISE NOTED.

12. INTERIOR WALLS TO BE METAL STUDS IN SIZES AND CONFIGURATIONS AS SHOWN ON THE DRAWINGS.

13. EXTERIOR WALLS TO BE METAL STUDS AT 16" O.C.

14. GYPSUM BOARD TO BE 1/2" * WALL, 5/8" * CEILING. AND 1/2" GREEN BOARD AT ALL "WET AREAS".

15. ELECTRICAL AND HVAC INSTALLER TO COORDINATE THEIR WORK.

16. ALL HVAC, INTERNALLY INSULATED METAL DUCTS. SEE MEP SHEETS FOR EQUIPMENT SIZES AND LAYOUT.

17. SEE DRAWINGS FOR EXTENT OF BUILDING INSULATION.

18. GYPSUM BOARD FINISH * ALL INTERIOR WALLS AND CEILINGS TO BE FULL FLOAT FINISH. NAIL GYPSUM BOARD INTO PLACE AND THEN SECURE WITH SHEET ROCK SCREWS IN PREPARATION FOR FULL FLOAT.

19. PEST CONTROL: ENVIRONMENT SENSITIVE PEST CONTROL. TYPICALLY THE FRAMING IS SPRAY COATED AFTER SHEATHING AND ICE AND WATER SHIELD HAS BEEN INSTALLED, BUT BEFORE IT IS CUT FOR WINDOW INSTALLATION. CONSULT WITH OWNER BEFORE FINAL CONTROL METHOD IS DECIDED.

20. METAL ROOFING, WHERE OCCURS, BY BERRIDGE MANUFACTURING COMPANY, STANDARD COLOR TO MATCH EXISTING ROOF AS SELECTED BY ARCHITECT. OR EQUAL UNDERLAYMENT AS PER MANUFACTURERS RECOMMENDATIONS. ROOF DECKING TO BE 5/8" PLYWOOD.

21. EXTERIOR WALL SHEATHING 1/2" DENSDECK WITH ICE AND WATER SHIELD EXTERIOR WATER RESISTANT BARRIER. SEE MANUFACTURERS' RECOMMENDATIONS FOR CORRECT INSTALLATION.

22. ALL FLOOR MATERIALS TO BE AS NOTED ON DRAWINGS

23. INSULATION: WRAP ALL HOT WATER LINES. USE TYPE "L" COPPER LINES.

24. INTERIOR WALLS TO BE FULL FLOAT FINISH WITH 3 COATS PAINT (SATIN). INTERIOR TRIM TO BE PREPARED FOR PAINTING - 3 COATS PAINT (SEMI-GLOSS) INTERIOR TRIM - ALL INTERIOR TRIM TO BE WOOD.

25. ALL PLYWOOD AND HARDWOODS AT CABINETS AND SHELVING TO BE "PREMIUM GRADE" AND TO BE FORMALDEHYDE FREE.

26. PROVIDE SEWER CLEANOUTS AS REQUIRED TO SERVICE ALL PLUMBING. VERIFY LOCATIONS WITH MECHANICAL PLANS.

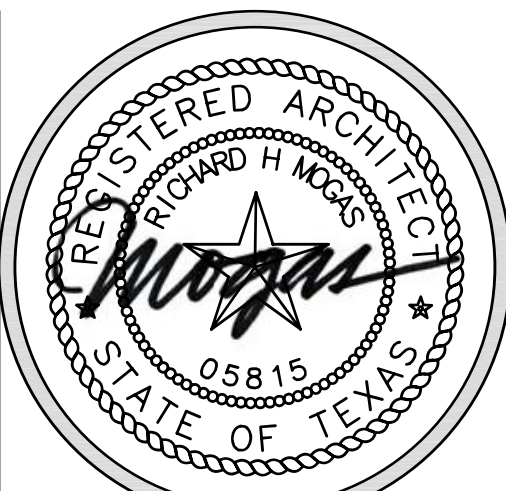
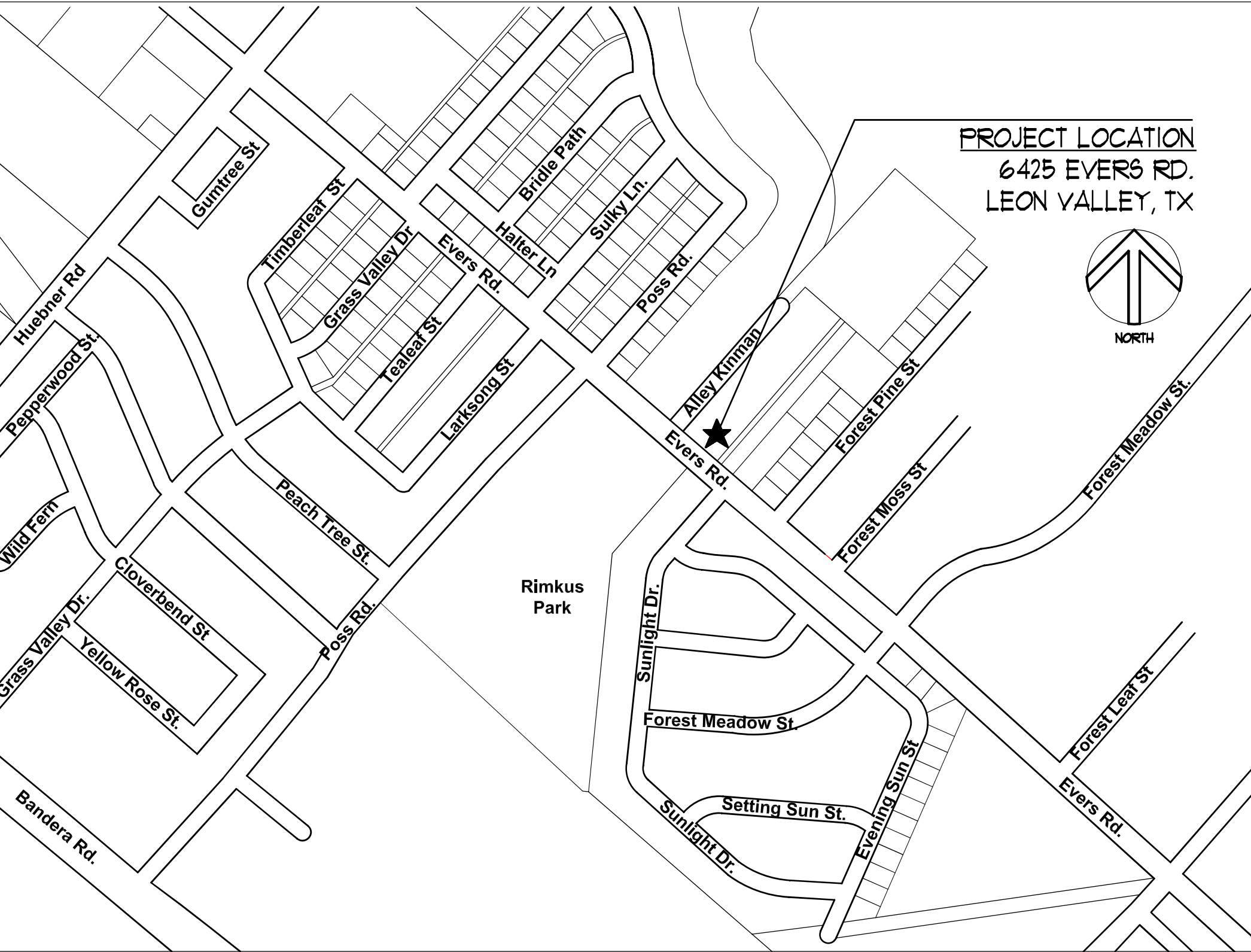
27. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS FOR BACKFLOW PREVENTION DEVICES ON ALL INDIVIDUAL PIECES OF EQUIPMENT AS INDICATED IN TCEG REGULATIONS INCLUDING ON WATER SERVICE FROM CITY MAIN.

28. CONTRACTOR SHALL INSTALL VACUUM BREAKER DEVICES ON ALL EXTERIOR HOSE BIBS.

29. SMOKE DETECTORS SHALL BE ELECTRICALLY HARDWIRED WITH A BATTERY BACKUP. ALL SMOKE DETECTORS SHALL ALSO BE ELECTRICALLY INTERCONNECTED, SO THAT IF ONE GOES INTO ALARM, ALL GO INTO ALARM. SEE MEP FOR FURTHER DETAILS.

ALLOWANCES

SEE SHT. IN SPECIFICATIONS.



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 LEXINGTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
T 210 226 2220 F 210 226 1846 WWW.RICHARDMOGAS.COM
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

COVER & INDEX OF
DRAWINGS & GENERAL
NOTES

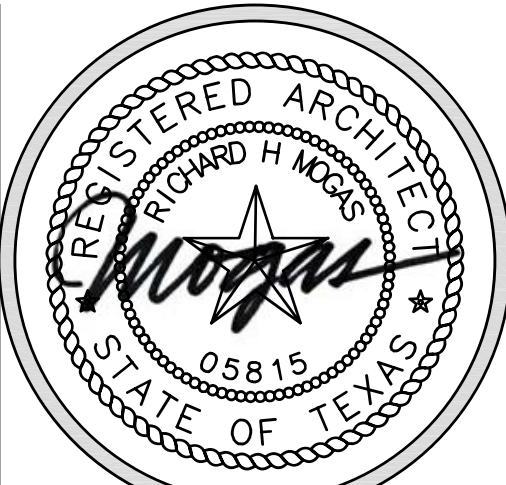
CONSTRUCTION DOCUMENTS

SHEET TITLE

SHEET:

G-1.0

1 OF 18
Date: NOV 16, 2012



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 KENINGTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
712.226.2226 F 210.226.1846 WWW.RICHARDMOGAS.COM
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

CODE AND EGRESS PLAN

CONSTRUCTION DOCUMENTS

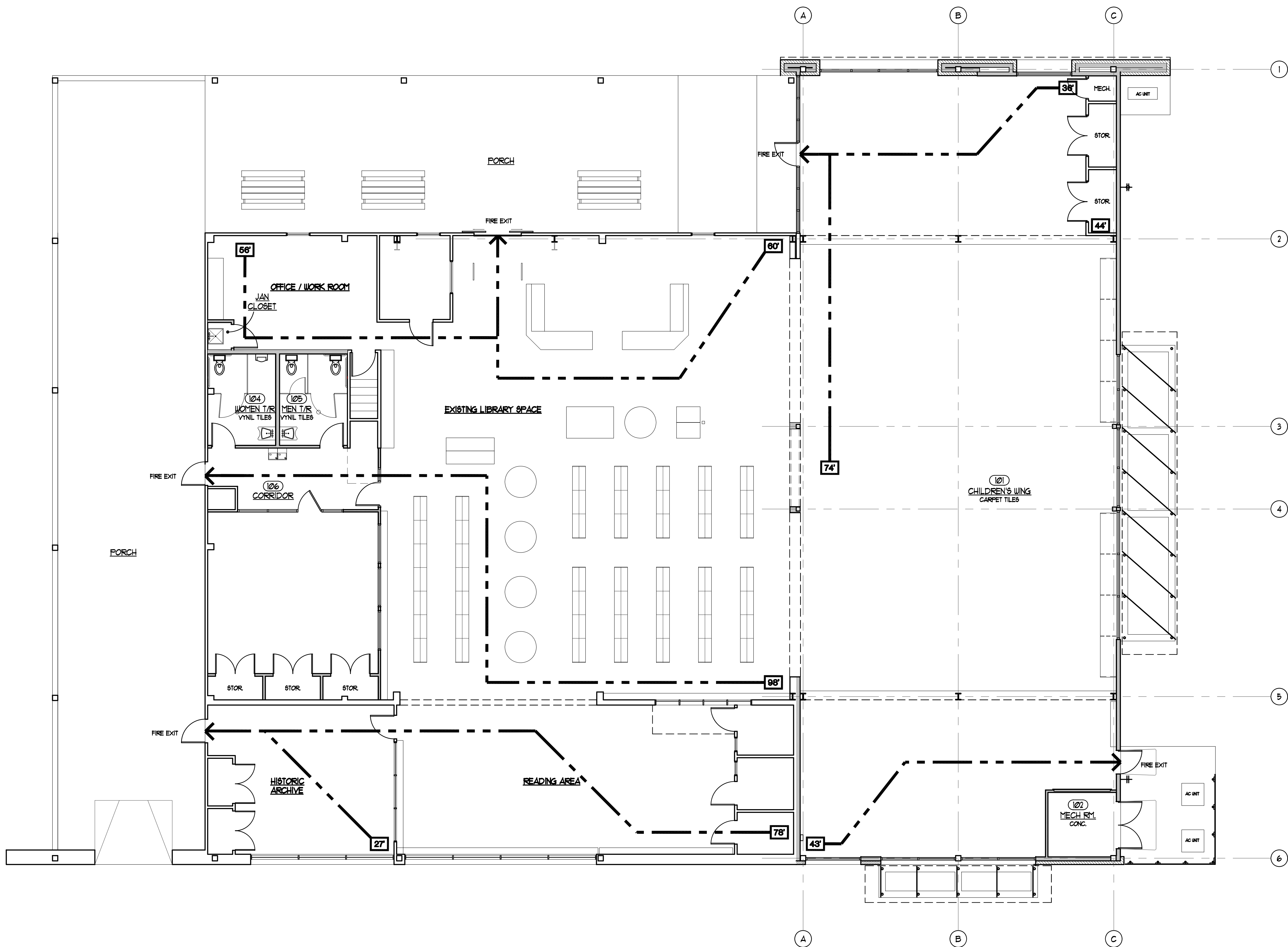
SHEET TITLE

CODE PLAN

SHEET:

G-1.1

2 OF 18
Date: NOV 16, 2012



APPLICABLE BUILDING CODES
2006 INTERNATIONAL BUILDING CODE
2006 INTERNATIONAL FIRE CODE

OCCUPANCY CLASSIFICATION:

GROUP A - A-3 - LIBRARY

AUTOMATIC FIRE SUPPRESSION SYSTEM NOT PROVIDED

GROSS SF

EXISTING BUILDING 6,025 SQ. FT.
ADDITION BUILDING 4,757 SQ. FT.

TOTAL GROSS SF 10,782 SQ. FT.

ALLOWABLE BUILDING HEIGHT AND AREAS

HEIGHT & AREA PERMITTED			
GROUP	TYPE	ALLOWABLE	ACTUAL
A-3	IIB	2 STORIES	1 STORY
		9,500 SQ. FT.	
FRONTAGE INCREASE		7,125 SQ. FT.	
ALLOWABLE		16,625 SQ. FT.	10,782 SQ. FT.

CONSTRUCTION CLASSIFICATION (TABLE 601 IBC 2006):

TYPE IIB		
STRUCTURAL FRAME		0 HR
BEARING WALLS		0 HR
EXTERIOR		0 HR
INTERIOR		0 HR
NONBEARING WALLS & INTER. PARTITIONS		0 HR
FLOOR CONSTRUCTION		0 HR
ROOF CONSTRUCTION		0 HR

EXIT ACCESS (TABLE 1016.1 IBC 2006)

TRAVEL DISTANCE TO CLOSEST EXIT NOT TO EXCEED 200 FT.

ACTUAL MAXIMUM TRAVEL DISTANCE: 112 FT

OCCUPANCY TOTALS (PER TABLE 1004.1.1 IBC 2006)

AREA	LOAD	TOTALS	TOTAL BUILDING
LIBRARY			
STACK AREA	6,794 SQ. FT.	100 GR.	67.94
READING RM	943 SQ. FT.	50 NET.	18.66
ASSEMBLY UNCON.	442 SQ. FT.	15 NET.	29.46
OFFICE	811 SQ. FT.	100 GR.	8.1
ACCESSORY AREA	357 SQ. FT.	300 GR.	1.19
TOTAL			125

EGRESS REQUIREMENTS (PER TABLE 1005.1 IBC 2006)

WITHOUT A SPRINKLER SYSTEM		
	Stairway (in. per occ.)	Components (in. per occ.)
CODE REQUIREMENT	3"	2"
TOTAL BUILDING (200 OCC.)	45"	30"

EXITS	REQUIRED	PROVIDED
	3	5

PLUMBING FIXTURE REQUIREMENTS (PER TABLE 2902.1 IBC 2006)

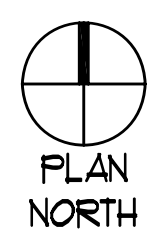
DESIGN OCCUPANCY TOTALS	MALE	FEMALE	TOTAL
TOTAL BUILDING	75	75	150

NUMBER OF PLUMBING FIXTURES (PER TABLE 2902.1 IBC 2006)

OCC. USER GROUP	LOAD	MALE		FEMALE		DRINK FOUNTAIN	SERVICE SINK
	75M, 76F	#W.C.	LAVS.	#W.C.	LAVS.	1/500	
REQUIRED	75M, 76F	1	1	2	1	1	1
PROVIDED	75M, 76F	2	2	2	2	1	1

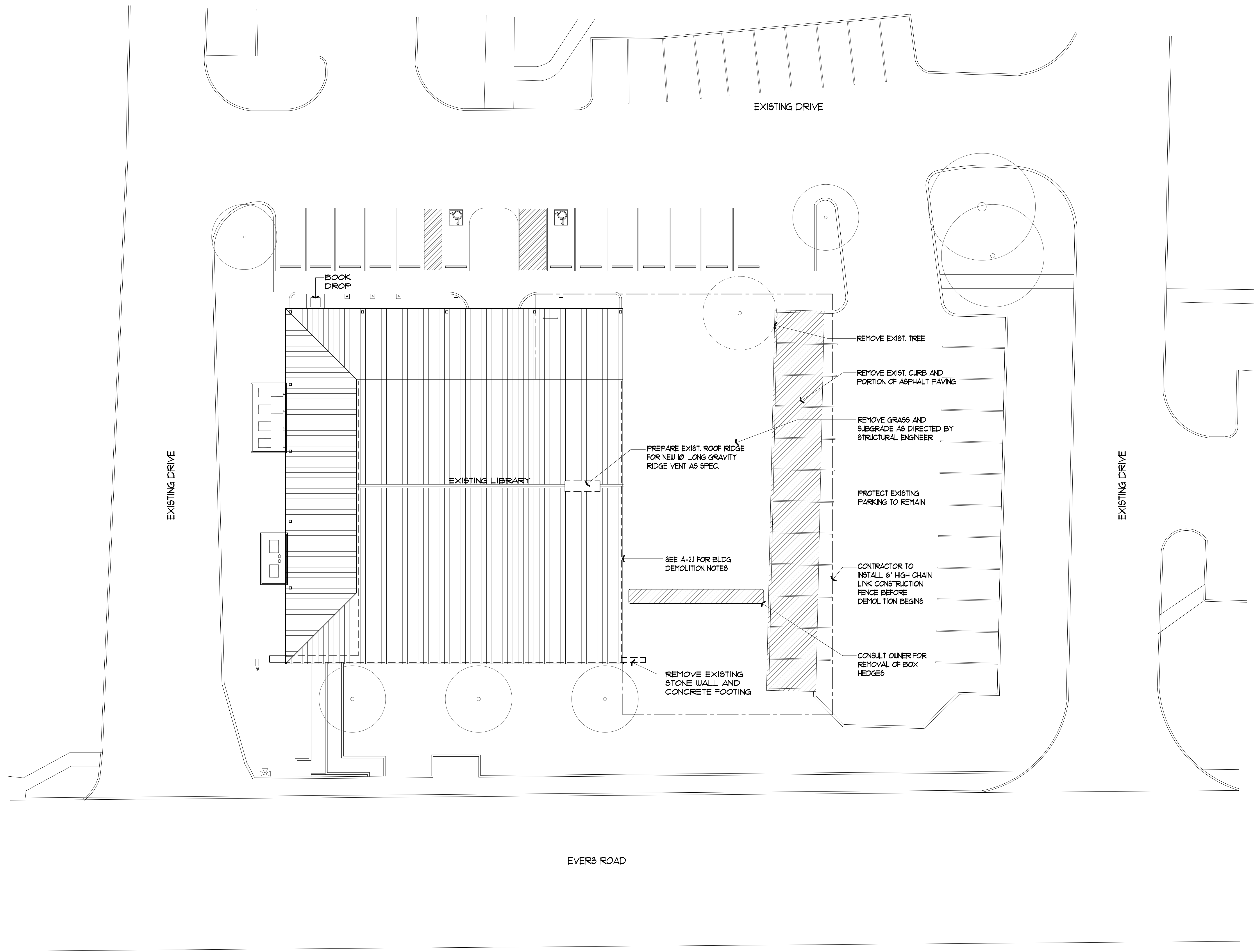
LEGEND

- 100'** DISTANCE TO EXIT
- > EXIT PATH
- * DENOTES EXIT
- ⊗ EXIT SIGNS LOCATIONS
- FIRE EXTINGUISHER LOCATIONS



EGRESS PLAN

SCALE: 1/8" = 1'-0"



DEMOLITION SITE PLAN
SCALE: 1/16" = 1'-0"

CONSTRUCTION DOCUMENTS

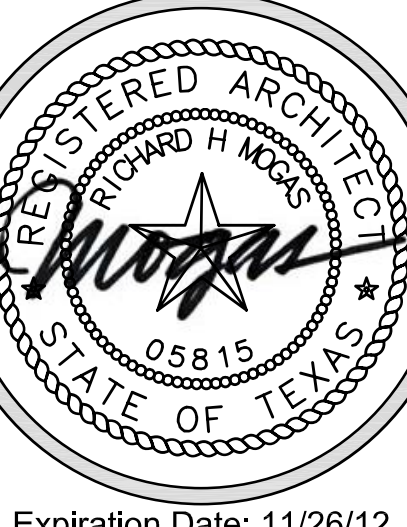
SHEET:
A-1.1
3 OF 18
Date: NOV 16, 2012

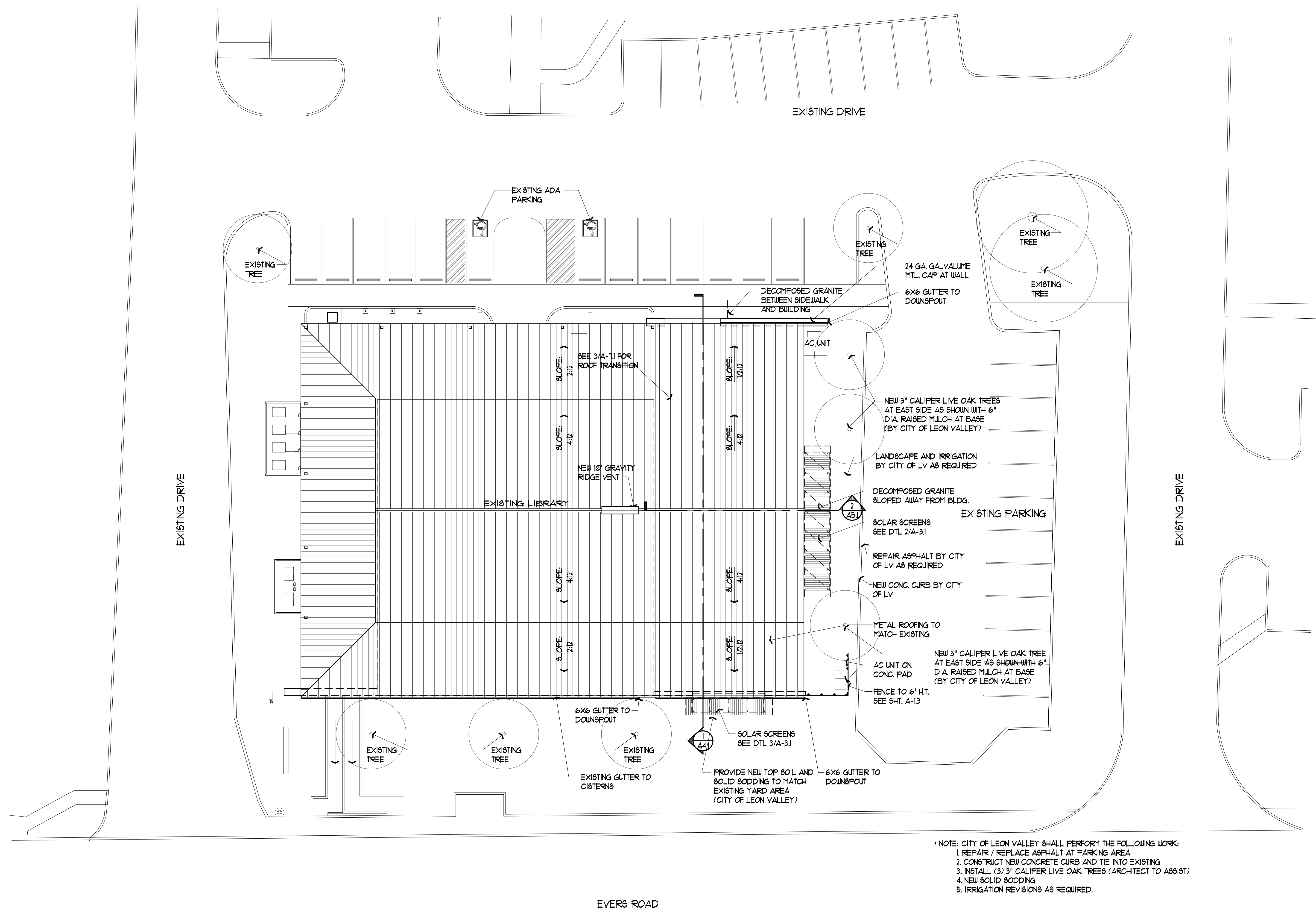
SHEET TITLE

DEMOLITION SITE PLAN

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

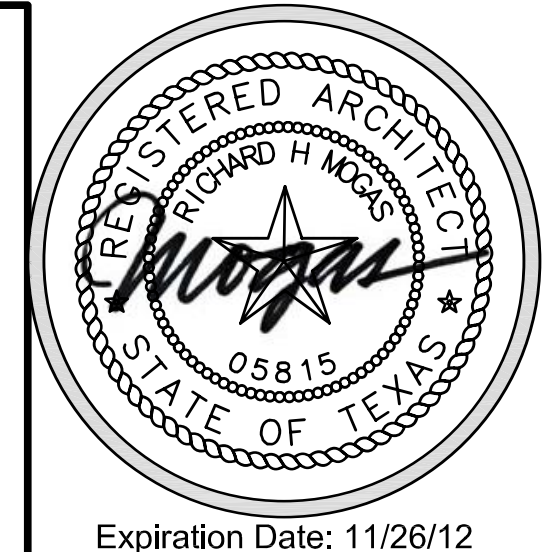
RICHARD MOGAS
ARCHITECTURE AIA
317 LENOXTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
1210226222 P 210-226-1846 WWW.RICHARDMOGAS.COM
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL





* NOTE: CITY OF LEON VALLEY SHALL PERFORM THE FOLLOWING WORK:
1. REPAIR / REPLACE ASPHALT AT PARKING AREA
2. CONSTRUCT NEW CONCRETE CURB AND TIE INTO EXISTING
3. INSTALL (3) 3" CALIF. LIVE OAK TREES (ARCHITECT TO ASSESS)
4. NEW SOLID SODDING
5. IRRIGATION REVISIONS AS REQUIRED.

PLAN NORTH
NEW SITE PLAN
SCALE: 1/16" = 1'-0"



RICHARD MOGAS
ARCHITECTURE AIA
317 LENOXTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
T 210 226 2220 F 210 226 1846 WWW.RICHARDMOGAS.COM
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

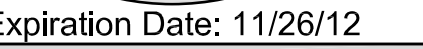
Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

NEW SITE PLAN

CONSTRUCTION DOCUMENTS

SHEET TITLE

SHEET:
A-1.2
4 OF 18
Date: NOV 16, 2012



6425 Evers, Leon Valley, Texas 78238

SITE DETAILS

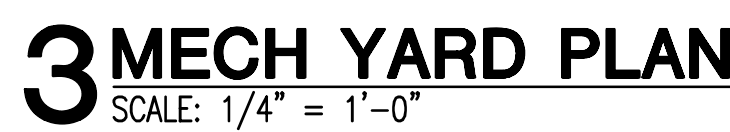
SHEET TITLE

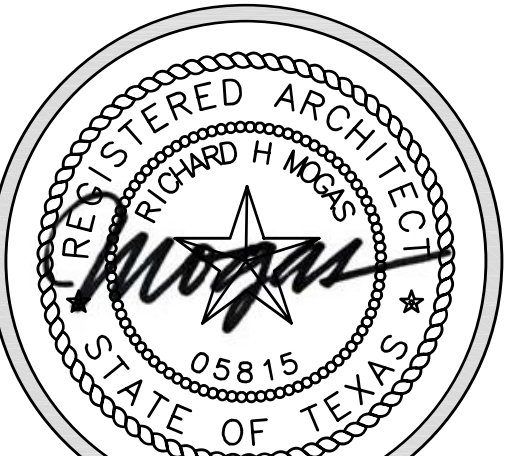
SHEET:

A-1.3

5 OF 18
Date: NOV 16, 2012

CONSTRUCTION DOCUMENTS





Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 KENINGTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
710.226.2220 F 210.226.1846 WWW.RICHARDMOGAS.COM
MOGAS@RMOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

DEMOLITION FLOOR PLAN

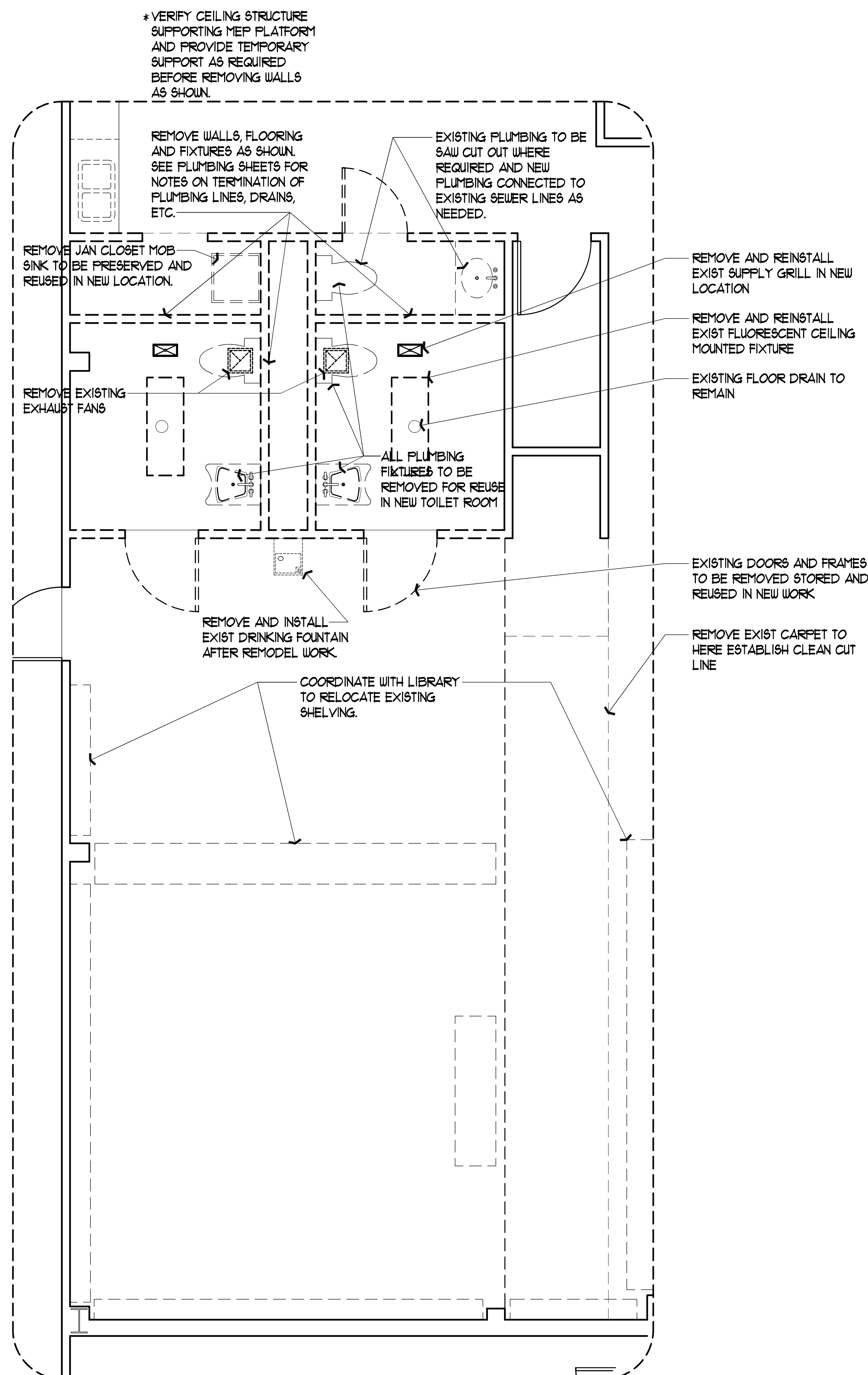
SHEET TITLE

SHEET:

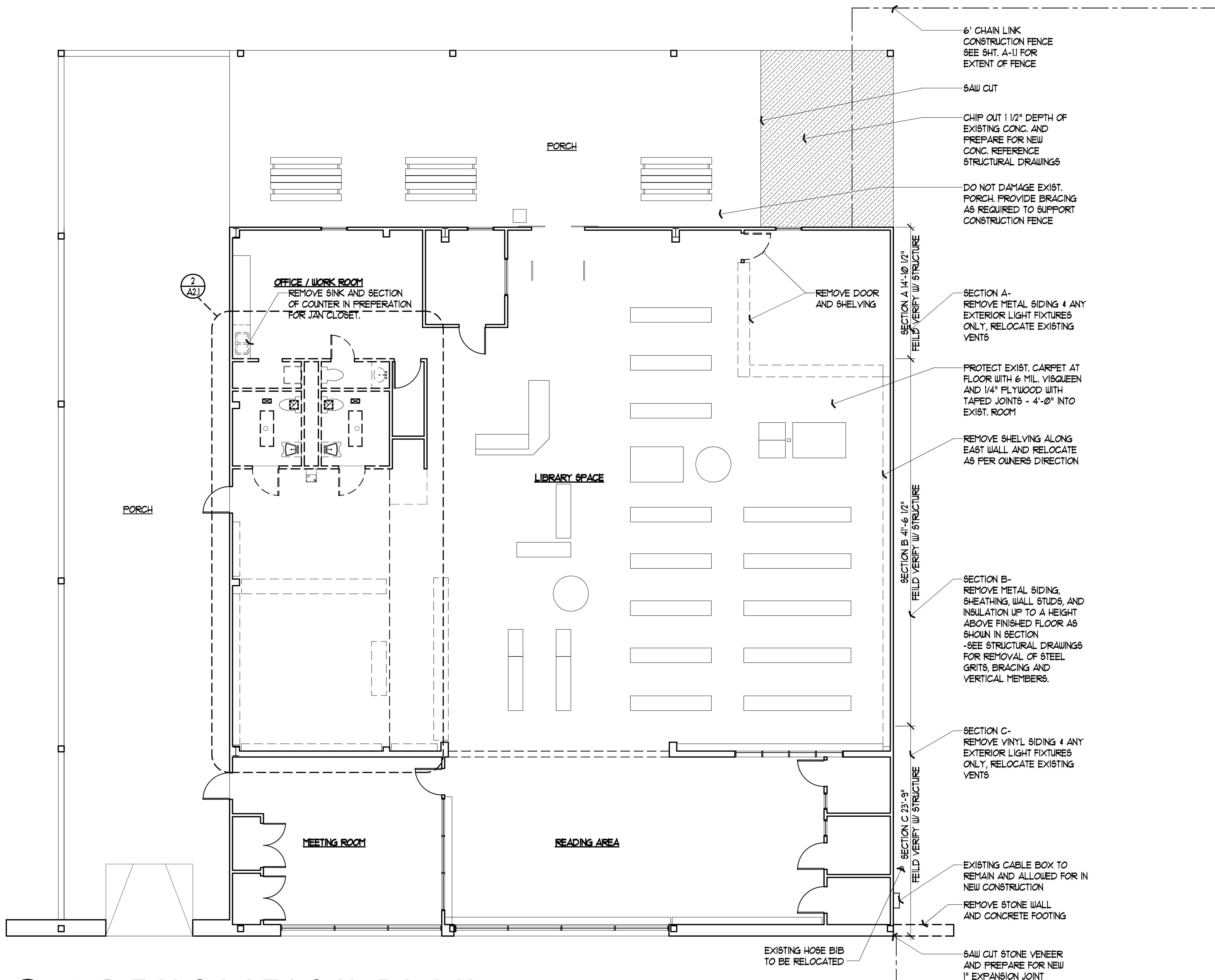
A-2.1

6 OF 18
Date: NOV 16, 2012

CONSTRUCTION DOCUMENTS



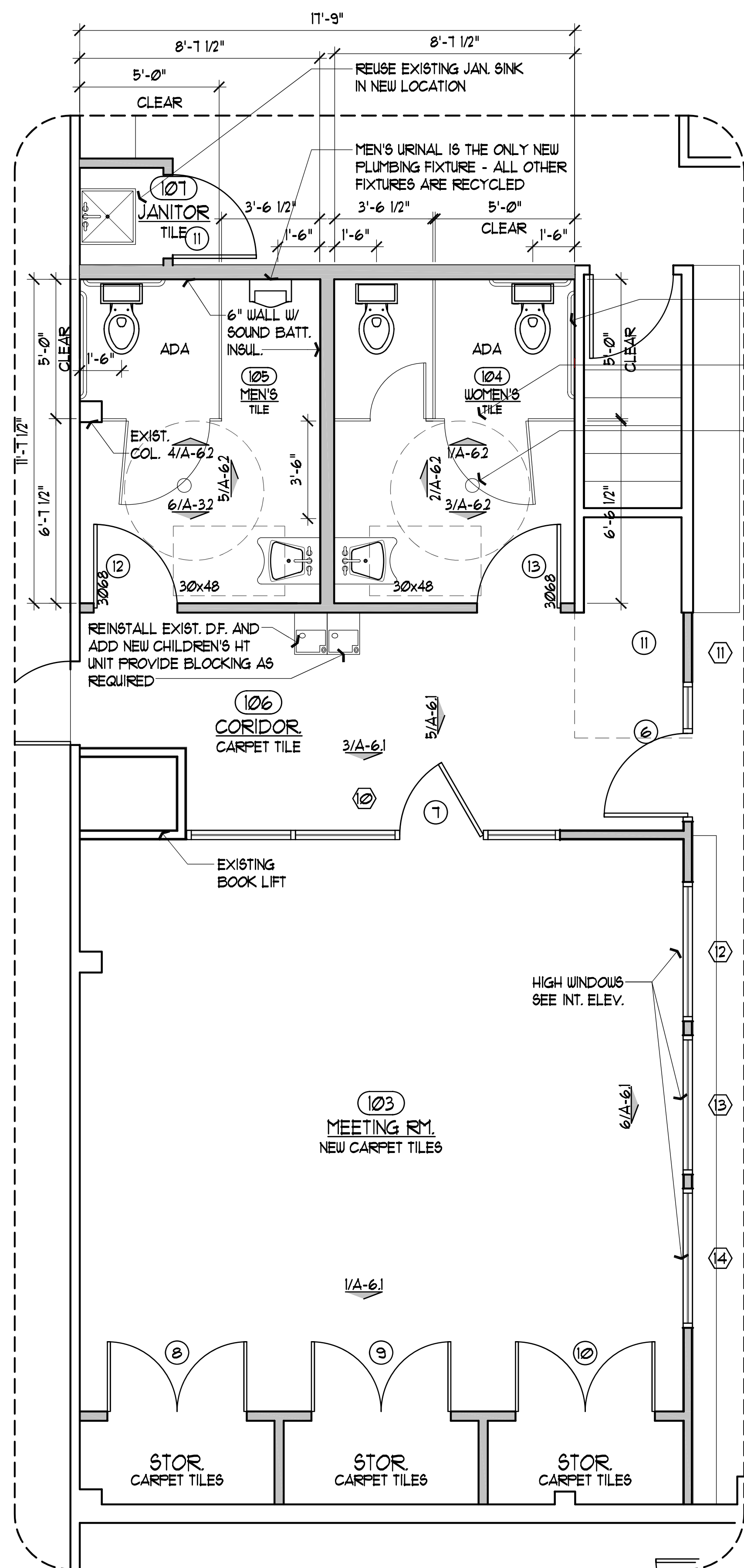
ENLARGED
2 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



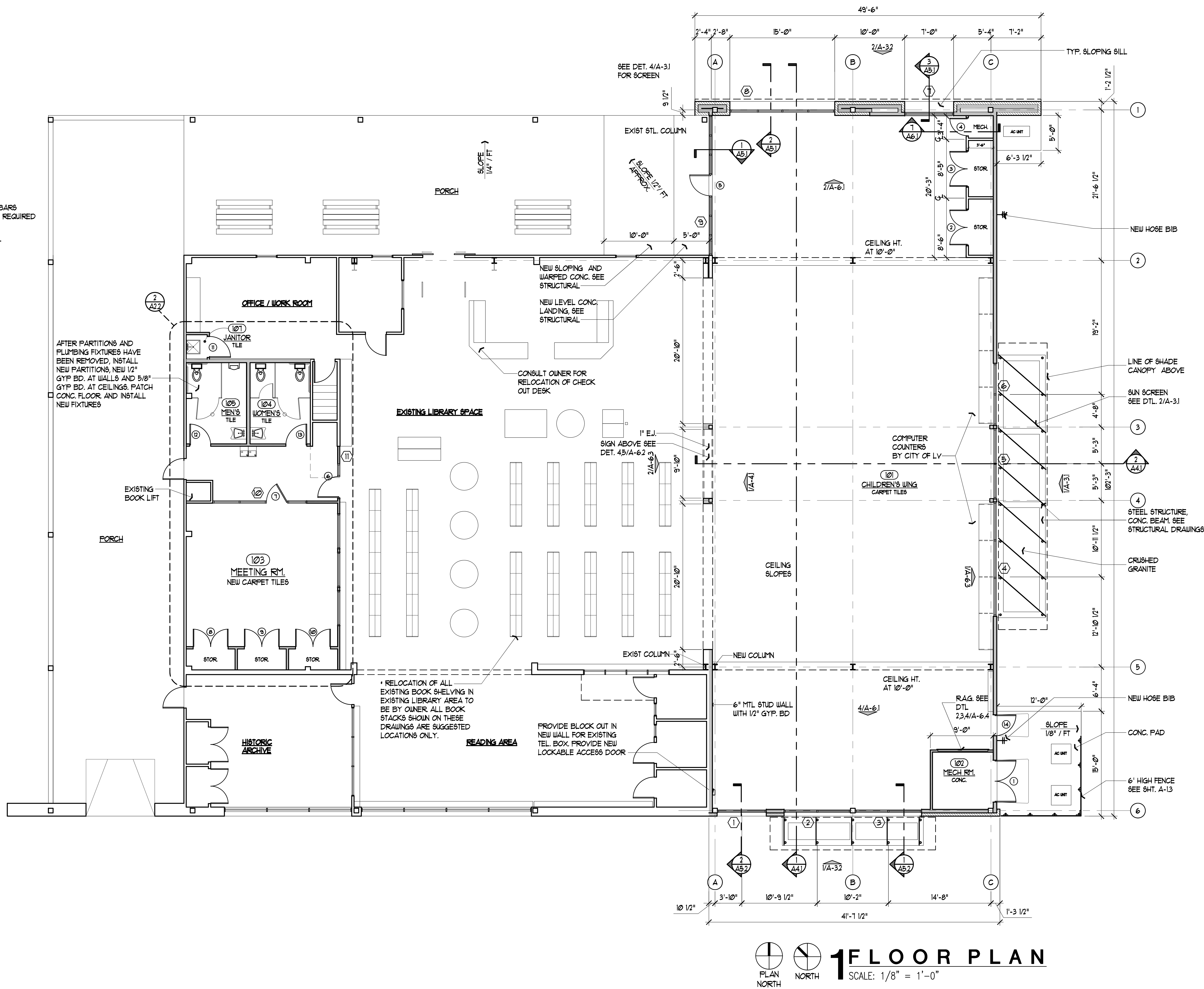
PLAN NORTH
NORTH
DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES:

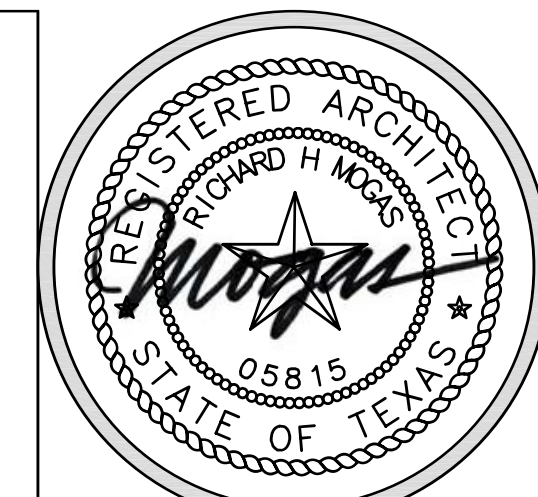
01. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS
02. THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING AND VERIFY THAT ALL ITEMS INDICATED TO BE EXISTING AND SO MARKED ON DRAWINGS ARE IN PLACE AND CORRECT
03. ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE FENCING AND BARRICADES WHERE REQUIRED TO PROTECT THE PUBLIC. SEE A-11
04. PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT AS CLEAN AS POSSIBLE AT ALL TIMES. SHOULD ANY ASBESTOS OR SUSPECTED ASBESTOS MATERIAL BE FOUND DURING THE PROCESS OF DEMOLITION, STOP ALL WORK AND NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY SO THAT A COURSE OF ACTION CAN BE DETERMINED.
05. ALL DEBRIS AND MATERIALS FROM THE BUILDING SHALL BE DISPOSED OF OFF SITE IN A LEGAL MANNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY ARCHITECT OR OWNER.
06. WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THIS CONTRACT, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED AND FINISHED, AND OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.
07. DO NOT REMOVE ANY STRUCTURAL COLUMNS, WALLS OR SUPPORTS. UNLESS DIRECTED BY THE ARCHITECT OR STRUCTURAL ENGINEER. CAREFULLY REMOVE INTERIOR PARTITIONS ONLY. IF THERE IS ANY CONCERN WHETHER A INTERIOR WALL IS BEARING OR NOT, CONTACT ARCHITECT IMMEDIATELY TO SCHEDULE A VERIFICATION TIE.
08. WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PANEL / SOURCE. ALL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
09. WHERE PLUMBING NEEDS TO BE ABANDONED, REMOVE ALL VENT STACK PIPE CAP & ROOF PENETRATION, REMOVE ALL OVERHEAD WATER LINES BACK TO POINT OF ENTRY. CAREFULLY VERIFY IF ANY LINES CAN BE RE-UTILIZED AS A PART OF NEW BUILD-OUT. ALL UNDERGROUND SANITARY, WATER LINES SHALL BE CAPPED-OFF BELOW SLAB. MAKE SURE ALL WATER HAS BEEN TURNED OFF PRIOR TO ANY WORK. ALL WORK SHALL BE DONE BY A LICENSED PLUMBER.
10. WHERE VENTILATION OR AIR CONDITIONING NEEDS TO BE ABANDONED, REMOVE ALL EXHAUST & OUTSIDE AIR DUCTS AS REQUIRED. ROOF TOP FANS SHALL BE REMOVED & THE OPENINGS DRIED-IN TO PREVENT ANY WATER PENETRATION IN THE SPACE. ALL WORK SHALL BE DONE BY A LICENSED HVAC CONTRACTOR.
11. WHERE GAS LINES OR SERVICE NEEDS TO BE ABANDONED, CAREFULLY REMOVE ALL PIPING, SHUT-OFF VALVES & FITTINGS AS REQUIRED. GAS METER & REGULATOR SHALL BE REMOVED BY UTILITY COMPANY. ALL WORK SHALL BE DONE BY A LICENSED SUB-CONTRACTOR.
12. DATA PRESENTED ON THESE DRAWINGS ARE AS ACCURATE AS SURVEYS AND PLANNING CAN DETERMINE, BUT ABSOLUTE ACCURACY IS NOT GUARANTEED. FIELD VERIFICATION OF THE PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR SINCE FINAL DISTANCES, LOCATIONS AND HEIGHTS WILL BE GOVERNED BY ACTUAL FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IN AREAS TO BE RENOVATED PRIOR TO BID IN ORDER TO PROVIDE AN ACCURATE BID AND BE AWARE OF ALL CONSTRUCTION METHODS NEEDED TO PROVIDE THE FINISHED PRODUCT AS SHOWN ON THE PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR A DECISION TO RESOLVE CONFLICTS PRIOR TO BID.
13. CONSTRUCTION IN AREAS TO BE RENOVATED SHALL BE CAREFULLY COORDINATED WITH THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RELOCATED OR STORED AS PER OWNER'S DIRECTION. EQUIPMENT AND FURNISHINGS TO BE STORED SHALL BE PROTECTED FROM DAMAGE AND VANDALISM IN LOCATIONS ACCEPTABLE TO THE OWNER.
14. DASHED LINES ON DEMOLITION PLAN INDICATE EXISTING MATERIALS TO BE REMOVED. EQUIPMENT TO BE REUSED SHALL BE STORED AND PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE RESULTING FROM CONSTRUCTION WILL BE REPAIRED TO ITS ORIGINAL STATE.
15. ITEMS TO REMAIN AND TO BE PROTECTED ARE DESIGNATED WITH CONTINUOUS LINES. IF DAMAGE OCCURS, PATCH, REPAIR, OR REPLACE DAMAGED ITEMS AT NO COST TO OWNER.
16. REPAIR SOFFIT, CEILING, WALL AND FLOOR FINISHES LEFT VOID OR DAMAGED BY DEMOLITION WORK.
17. REPAIR WALLS DAMAGED BY DEMOLITION TO PROVIDE SMOOTH SURFACE, WITH PATCHES DRESSED FLUSH, SMOOTH AND READY TO RECEIVE FINISH MATERIAL. IF GYPSUM BOARD BEHIND FINISH SURFACE IS UNSUITABLE FOR RECONSTRUCTION, REPLACE WITH NEW GYPSUM BOARD.
18. DEMOLITION EXPOSING THE INTERIOR OF THE BUILDING TO THE OUTSIDE ELEMENTS OR TO THE PUBLIC SHALL BE PROPERLY SEALED AND PROTECTED TO ELIMINATE DAMAGE FROM VANDALISM OR WEATHER DURING CONSTRUCTION.
19. PROVIDE SCREENING FROM DUST, FUMES, SMOKE, WATER, AND NOISE WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE LIBRARY.
20. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. PROBLEMS OR DISCREPANCIES IN THE PLAN SHALL BE REPORTED AT ONCE TO THE ARCHITECT AND ALL WORK INVOLVED AT SAID QUESTIONED AREA SHALL BE HALTED UNTIL ARCHITECT GIVES NOTICE TO PROCEED.
21. COORDINATE PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION AS INDICATED IN PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS WHEN PRESENT. EXISTING MILLWORK, LIGHTING AND PLUMBING FIXTURES NOT TO BE REUSED ARE TO BE REMOVED AND RETURNED TO THE BUILDING OWNER.
22. PATCH SURFACES AS REQUIRED TO MATCH EXISTING WHERE PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS HAVE BEEN REMOVED.
23. WHERE PLUMBING FIXTURES ARE REMOVED, DISCONNECT, REMOVE OR CAP UTILITY SERVICES AS INDICATED IN THE CONTRACT DOCUMENTS.
24. GENERAL CONTRACTOR TO PROPERLY DISPOSE OF DEMO ITEMS, UNLESS OTHERWISE NOTED RETURN TO OWNER.



ENLARGED
RESTROOM PLAN
SCALE: 1/4" = 1'-0"



1st FLOOR PLAN
SCALE: 1/8" = 1'-0"



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 KENNINGTON AVENUE SUITE 1846 WWW.RICHARDMOGAS.COM
76103-2322 TEXAS
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

FLOOR PLAN

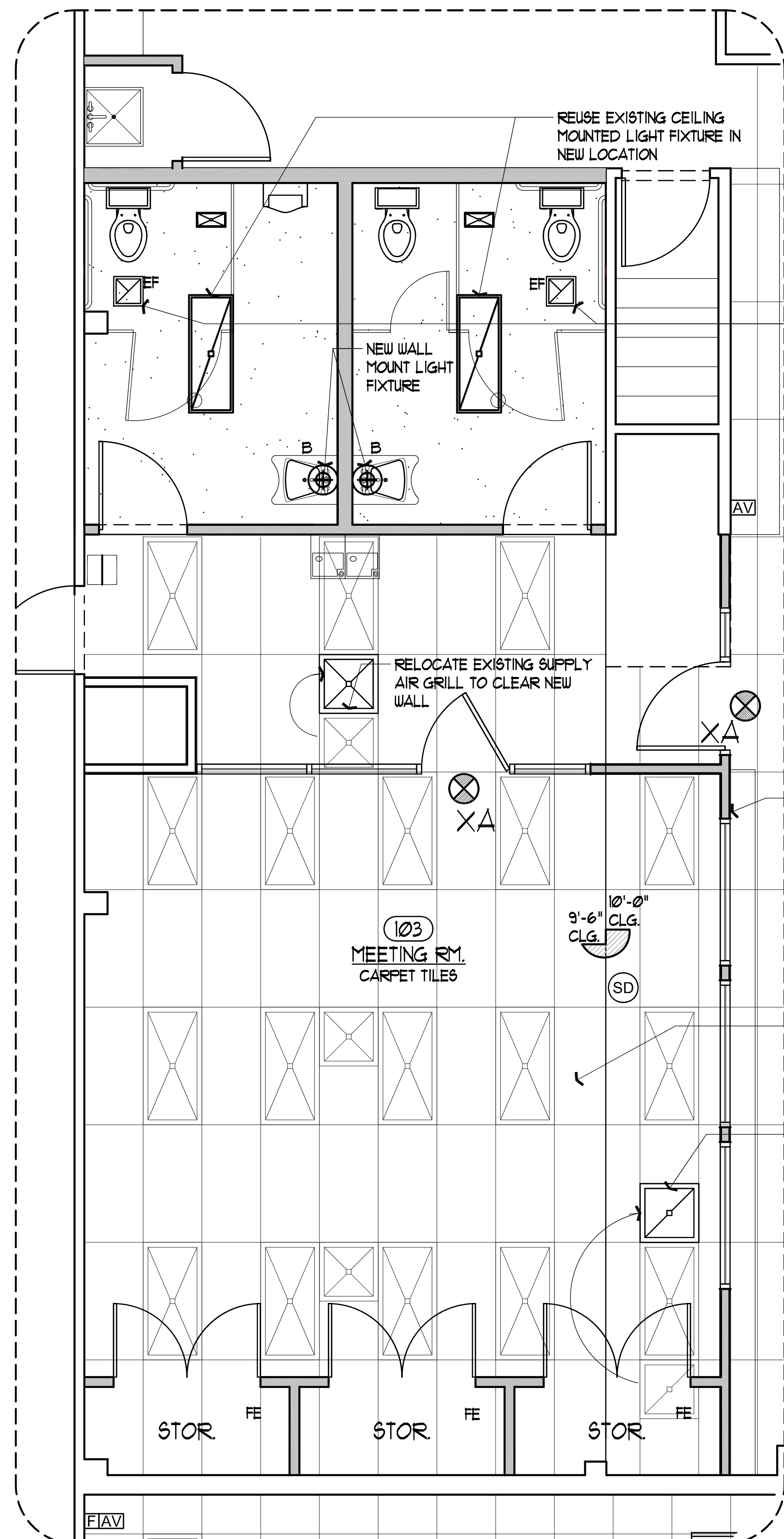
CONSTRUCTION DOCUMENTS

SHEET TITLE

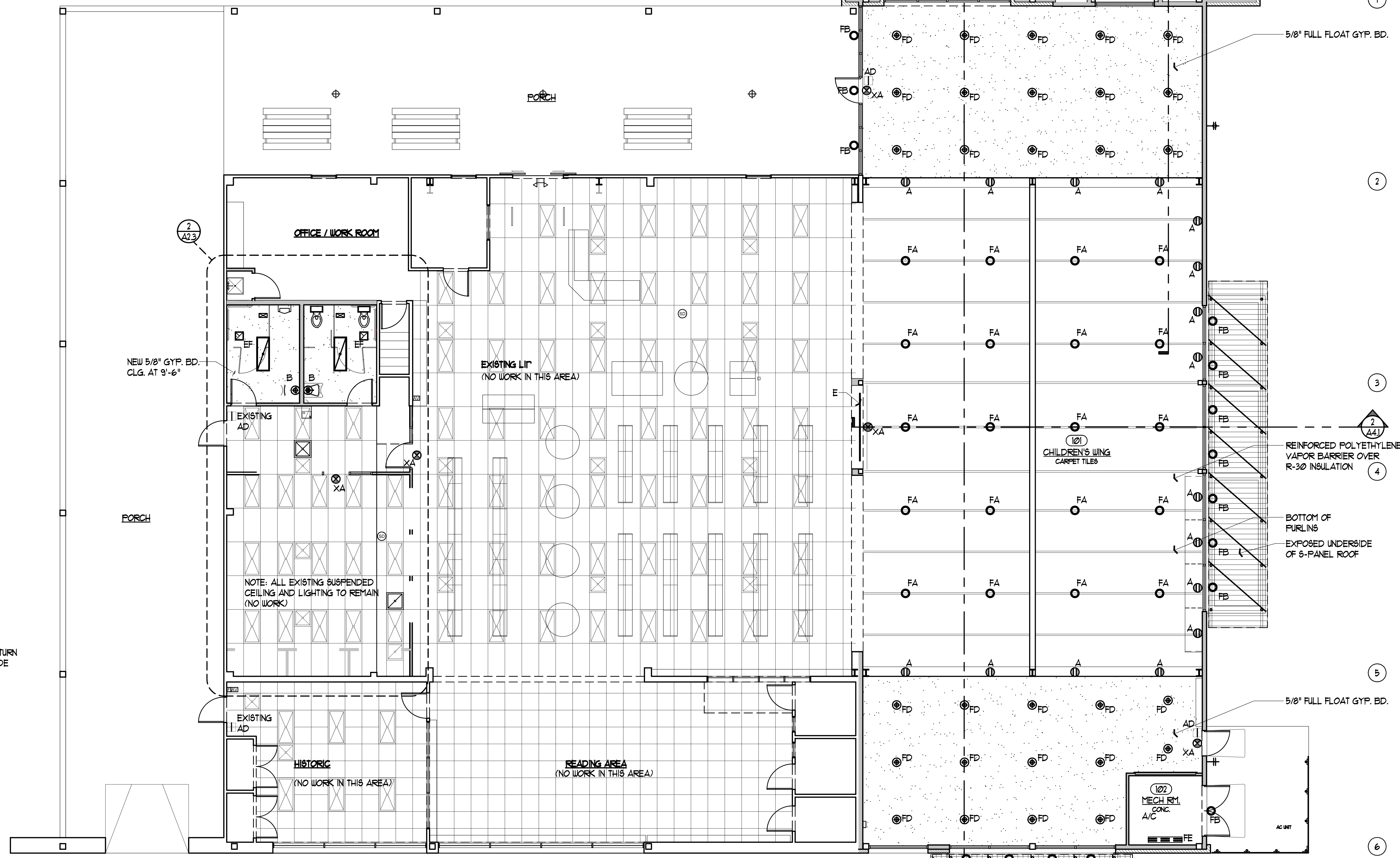
SHEET:

A-2.2

7 OF 18
Date: NOV 16, 2012



ENLARGED - REFLECTED
2 RESTROOM PLAN
 SCALE: 1/4" = 1'-0"



CEILING SYMBOL LEGEND

- | | | | |
|--|--|----|--|
| | 5/8" GYP. BD. ON SUS. MTL. CHANNELS SUSPENDED FROM STRUCTURE FULL FLOAT FINISH | A | METAL FINISH WALL SCONCE |
| | EXPOSED STRUCTURE | AD | AUDIBLE DOOR ALARM AT EXIT |
| | BERRIDGE 8-PANEL AS SPEC. | B | WALL SCONCE AT TOILET ROOMS. (ALLOW 1200 EA.) |
| | | XA | EXIT LIGHT |
| | | E | DBL. 8' FLUORESCENT TUBES AT SIGN |
| | | FA | PENDANT SUSPENDED LIGHT - HANG TO 11'-0" AFF. |
| | | FB | WALL SCONCE WITH ALUM. HOUSING FINISH - EXTERIOR GRADE METAL |
| | | FD | 8" DIA. RECESSED LIGHT FIXTURE |
| | | FE | 1'x4' OPEN STRIP FIXTURE WITH WIRE GUARD MOUNT TO WALL |
| | | FE | 1'x4' OPEN STRIP FIXTURE WITH WIRE GUARD MOUNT TO WALL |

REFLECTED
1 REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"



Expiration Date: 11/26/12

RICHARD MOGAS
 ARCHITECTURE AIA
 317 KENINGTON AVENUE SUITE 1846 WWW.RICHARDMOGAS.COM
 78215
 1-210-226-2220 P 210-226-1846 M 210-226-1846
 MOGAS@RMO.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
 CHILDREN'S WING ADDITION
 6425 Evers, Leon Valley, Texas 78238

REFLECTED CEILING PLAN

SHEET TITLE

SHEET:
A-2.3
 8 OF 18
 Date: NOV 16, 2012

CONSTRUCTION DOCUMENTS



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 KENNINGTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
710.226.2220 210.226.1846 WWW.RICHARDMOGAS.COM
MOGASUNDO.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

EXTERIOR ELEVATIONS

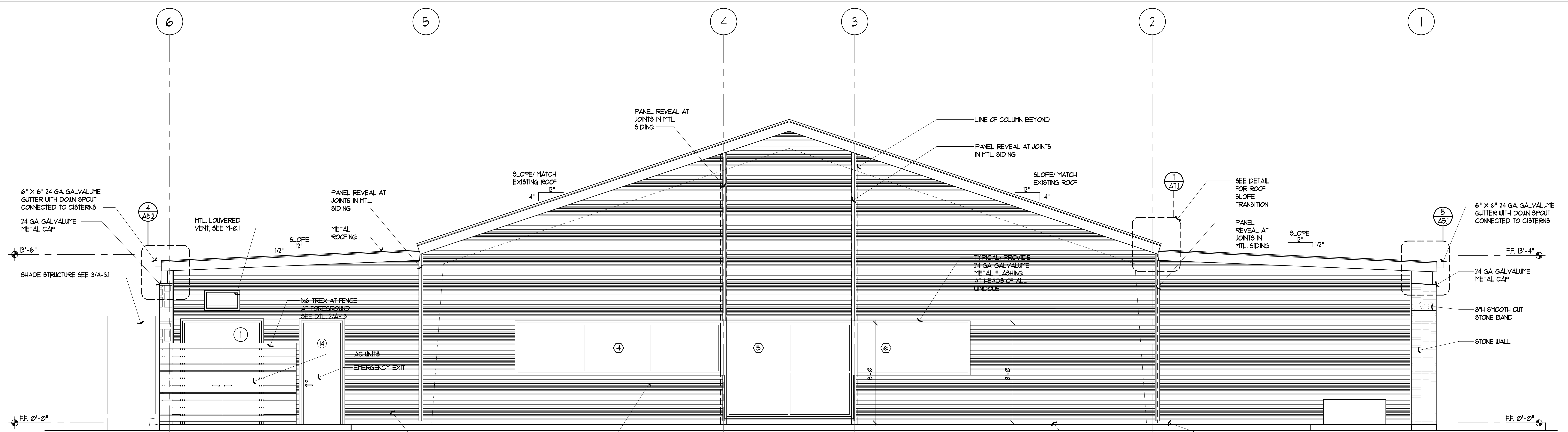
CONSTRUCTION DOCUMENTS

SHEET TITLE

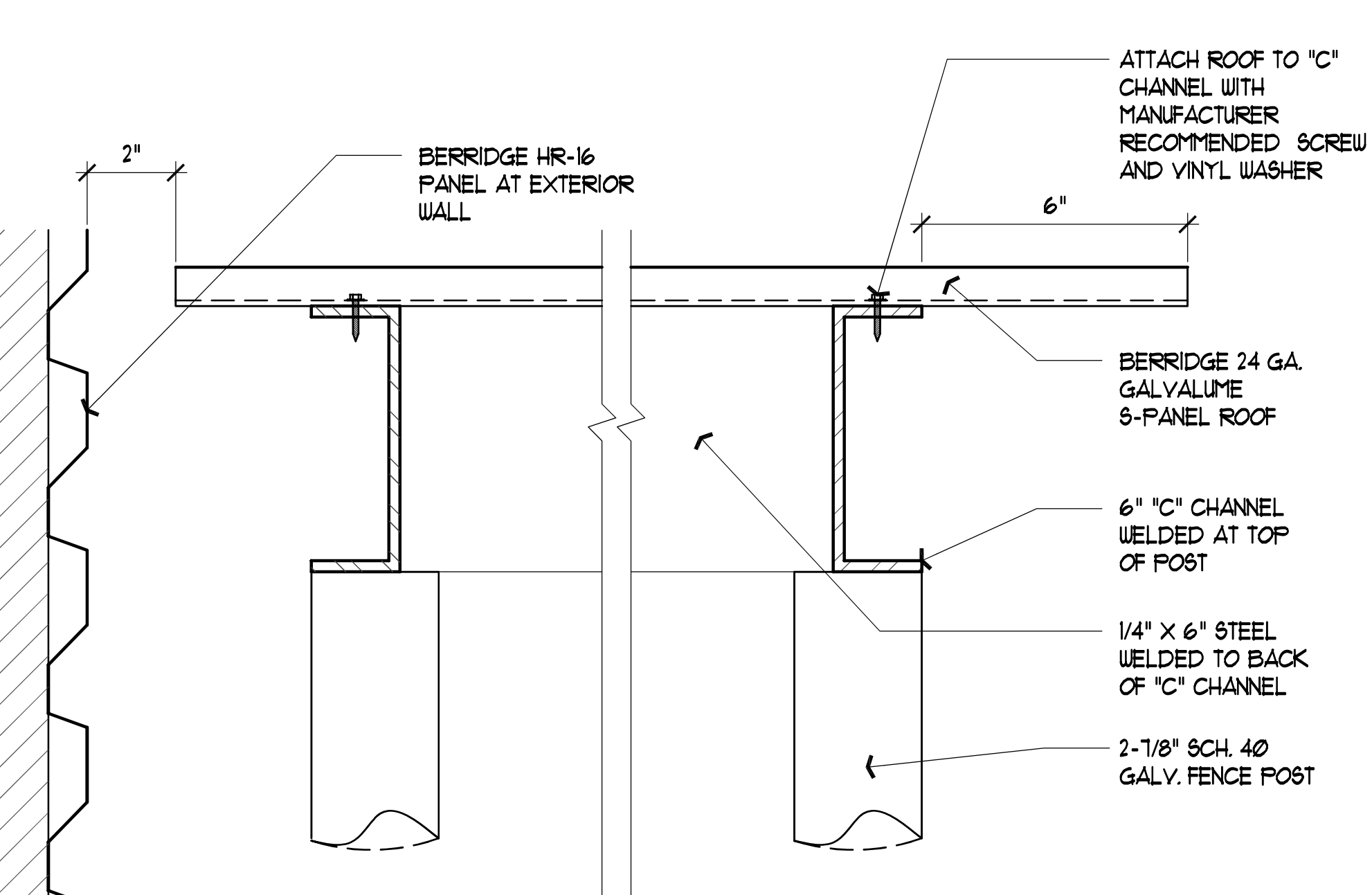
SHEET:

A-3.1

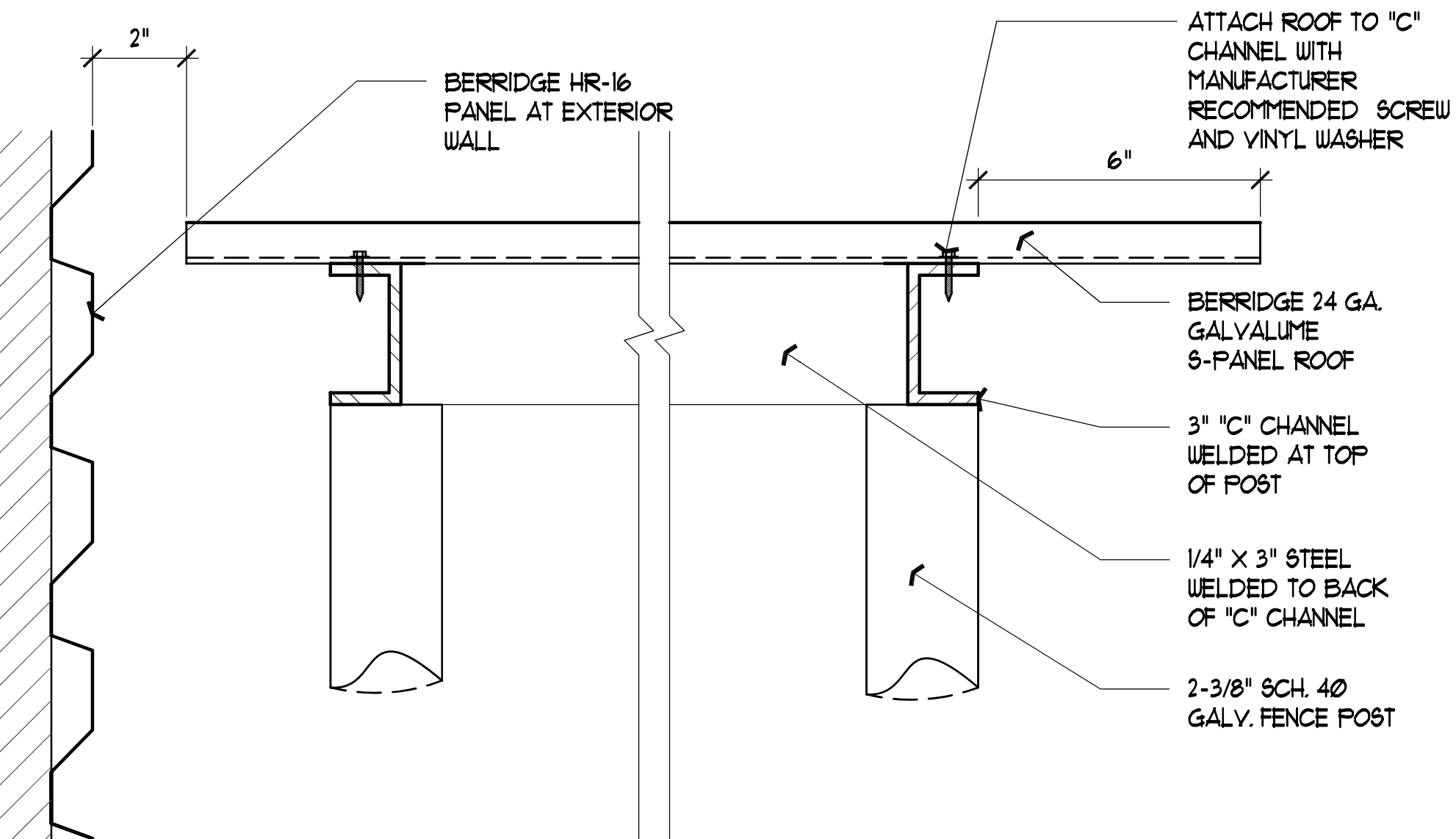
9 OF 18
Date: NOV 16, 2012



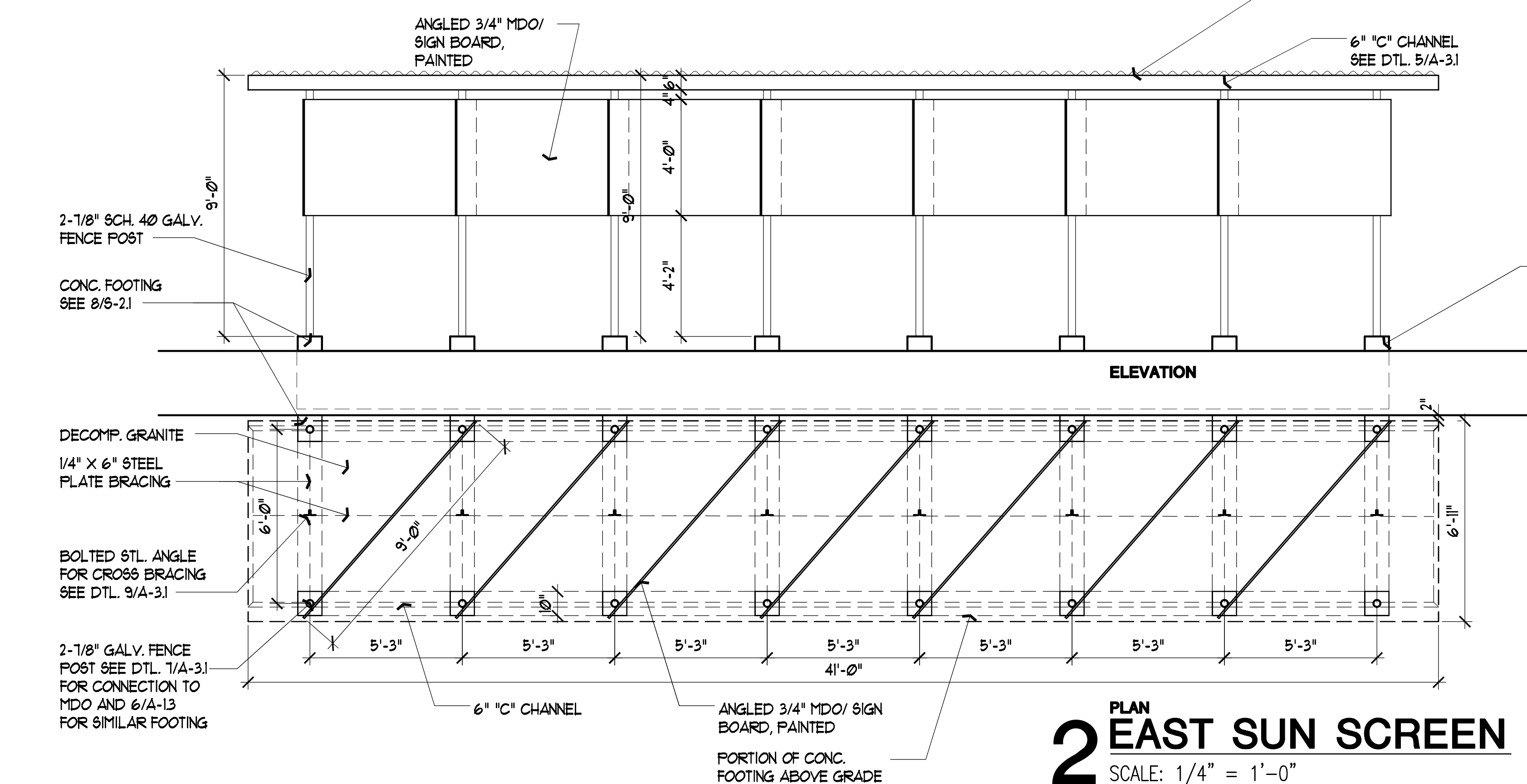
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



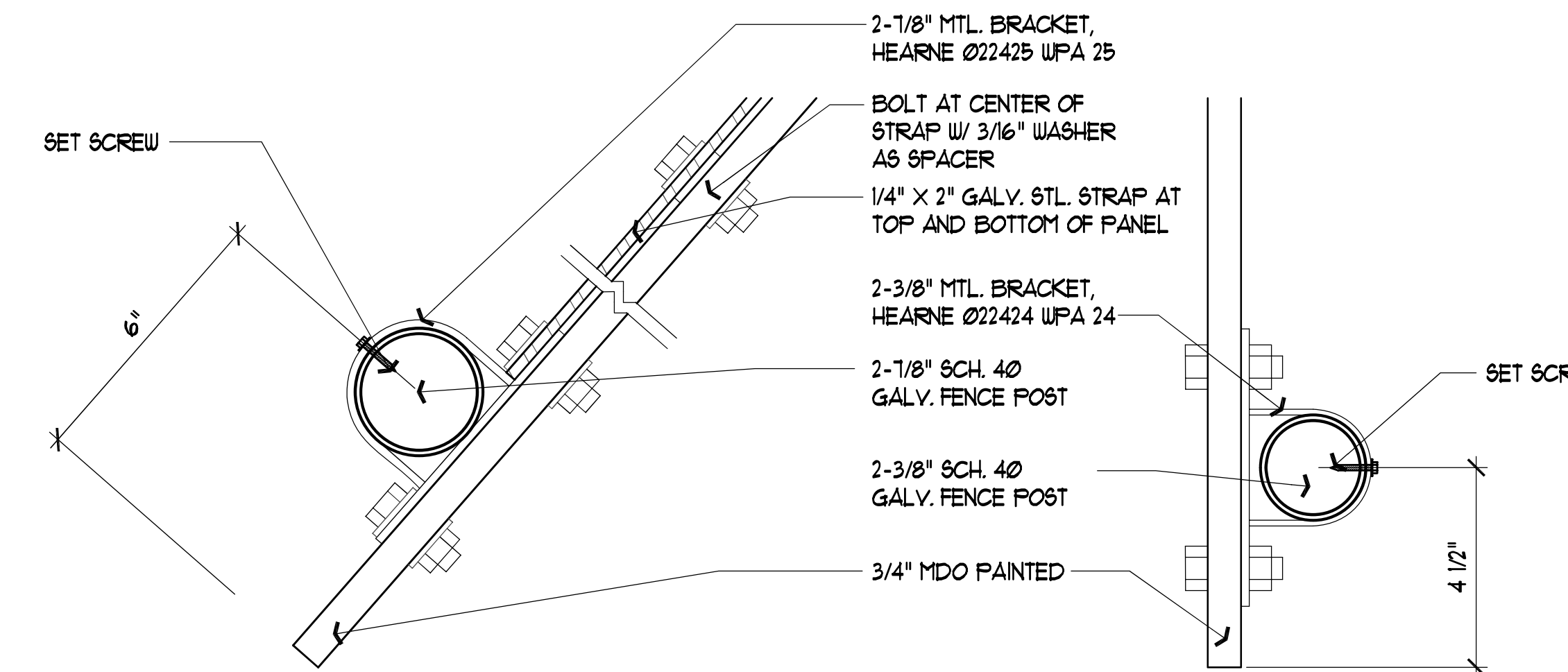
5 DETAIL
SCALE: 3" = 1'-0"



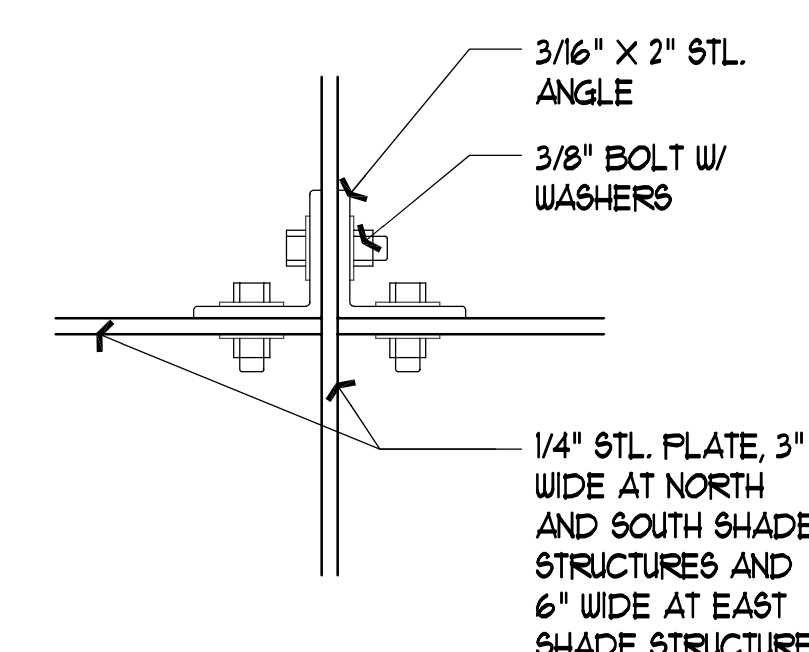
6 DETAIL
SCALE: 3" = 1'-0"



2 PLAN EAST SUN SCREEN
SCALE: 1/4" = 1'-0"



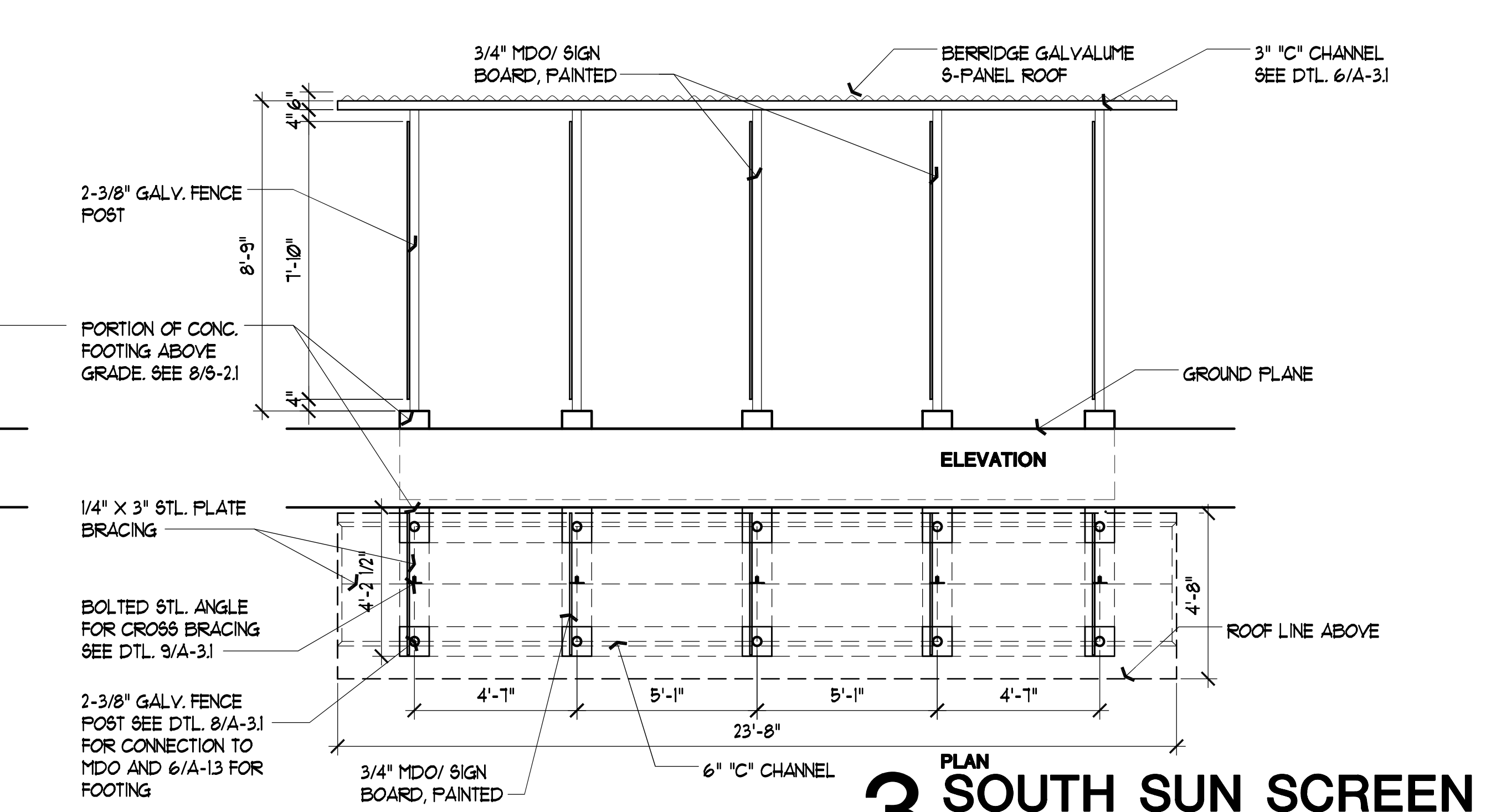
7 DETAIL
SCALE: 3" = 1'-0"



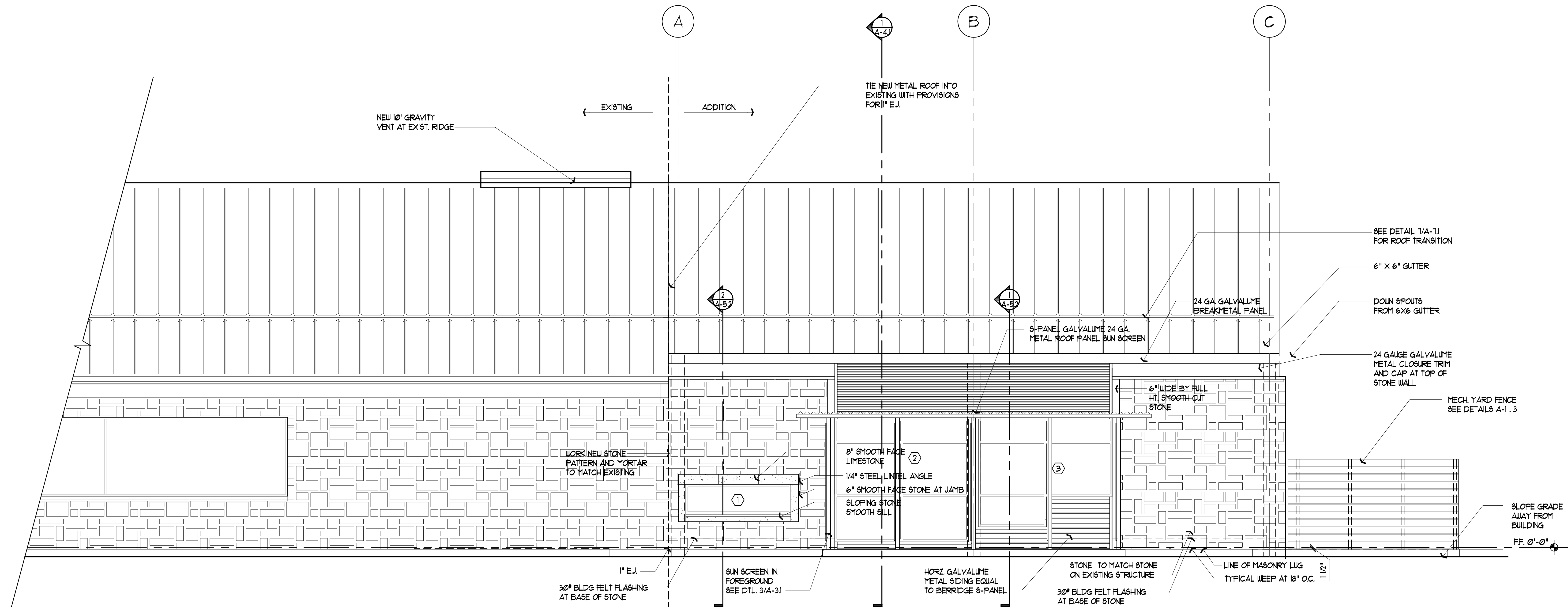
8 DETAIL
SCALE: 3" = 1'-0"



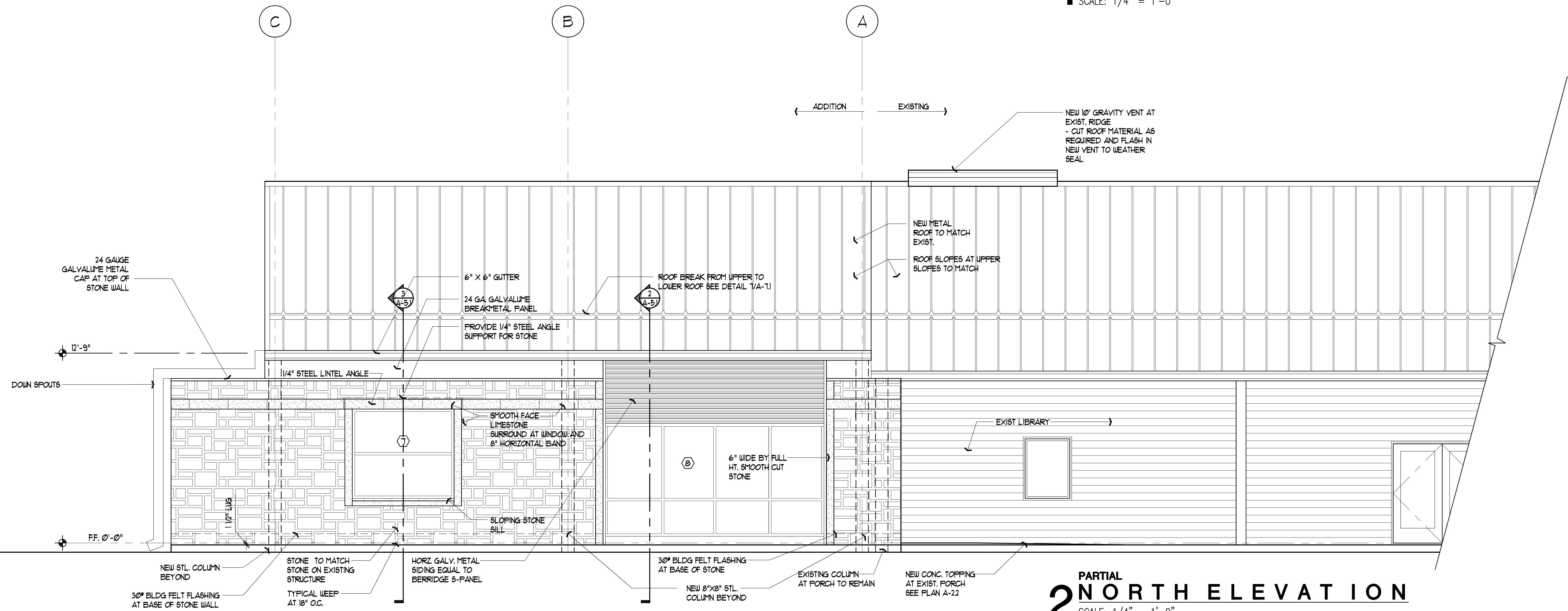
9 DETAIL
SCALE: 3" = 1'-0"



3 PLAN SOUTH SUN SCREEN
SCALE: 1/4" = 1'-0"



**PARTIAL
1 SOUTH ELEVATION**
SCALE: 1/4" = 1'-0"



**PARTIAL
2 NORTH ELEVATION**
SCALE: 1/4" = 1'-0"



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 LEIGHTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
710.226.2220 F 210.226.1846 WWW.RICHARDMOGAS.COM
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

EXTERIOR ELEVATIONS

SHEET TITLE

SHEET:
A-3.2

10 OF 18
Date: NOV 16, 2012

CONSTRUCTION DOCUMENTS



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 KENNINGTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
T 210 226 2220 F 210 226 1846 WWW.RICHARDMOGAS.COM
MOGAS@RMOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

BUILDING SECTIONS

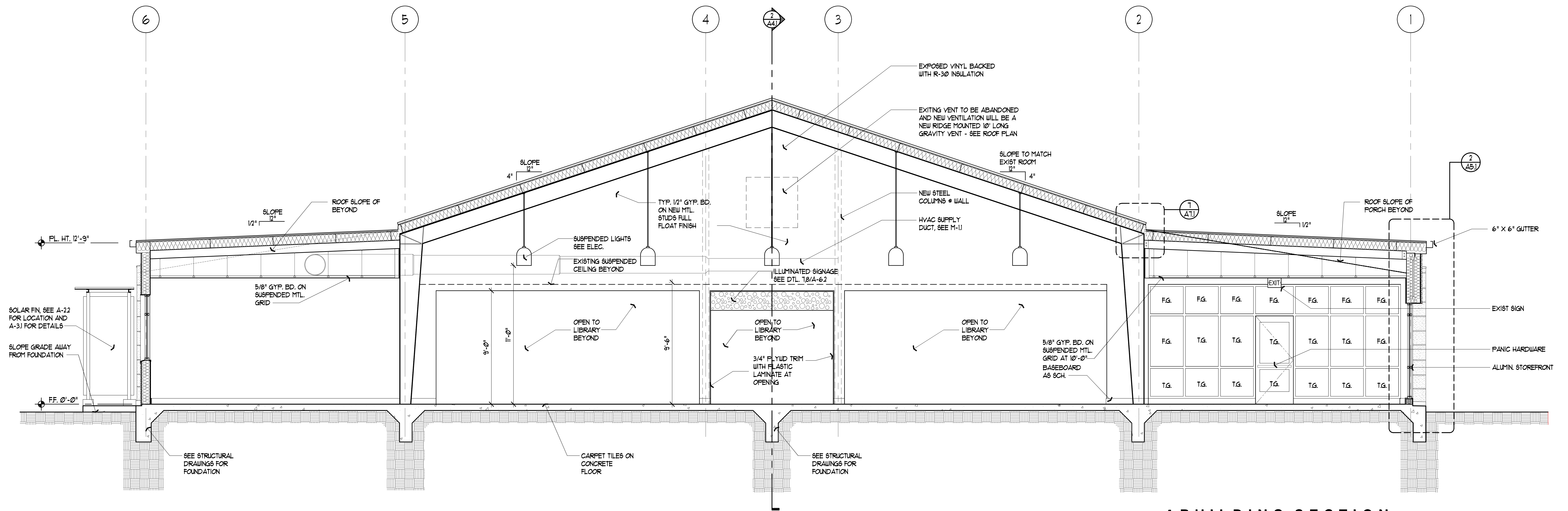
SHEET TITLE

SHEET:

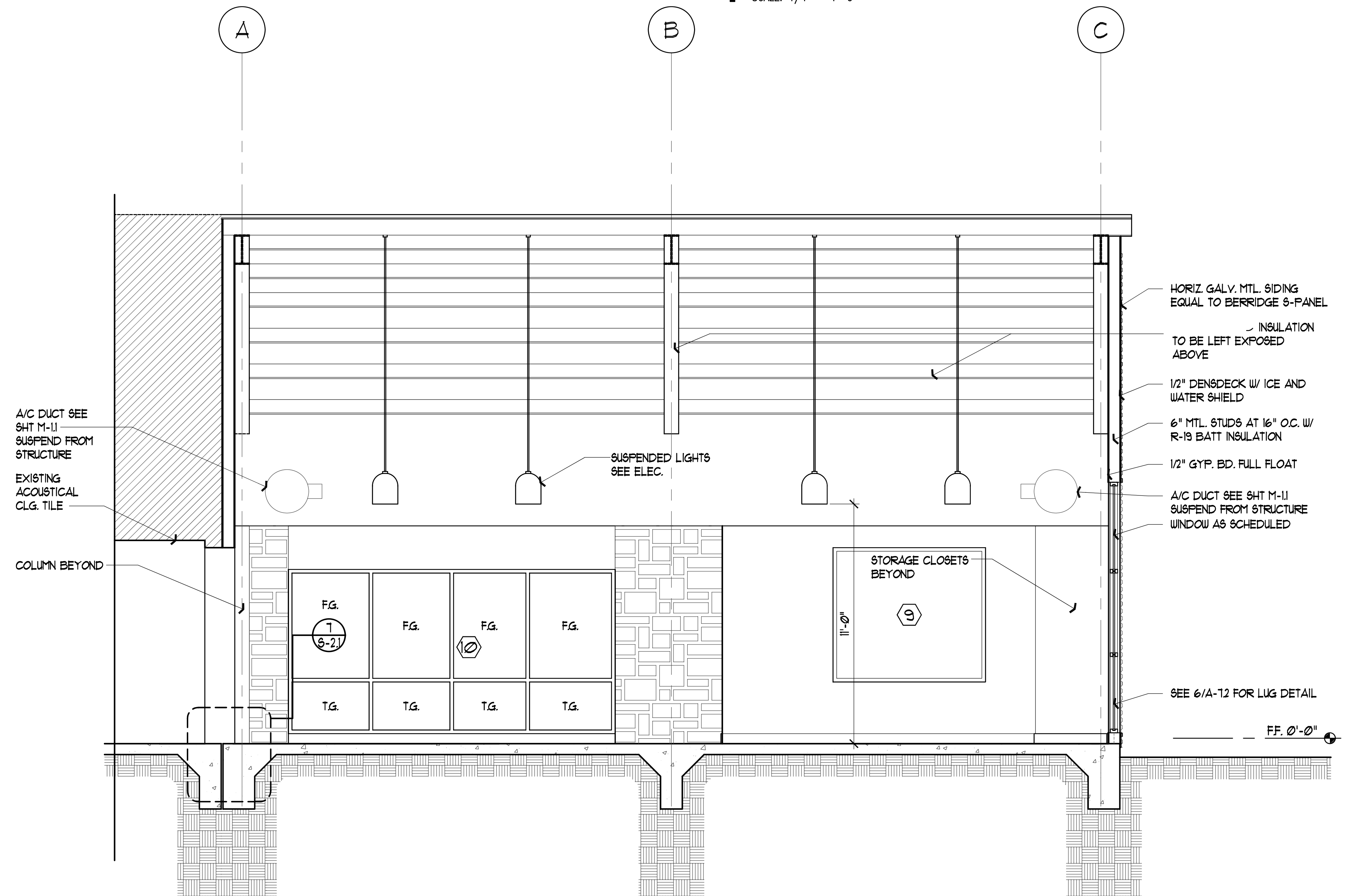
A-4.1

11 OF 18
Date: NOV 16, 2012

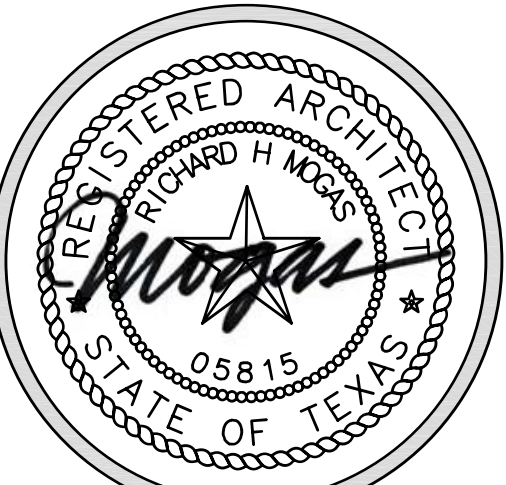
CONSTRUCTION DOCUMENTS



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



BUILDING SEC 2



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 LEIGHTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
713.236.2220 F.213.236.1846 WWW.RICHARDMOGAS.COM
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

WALL SECTIONS

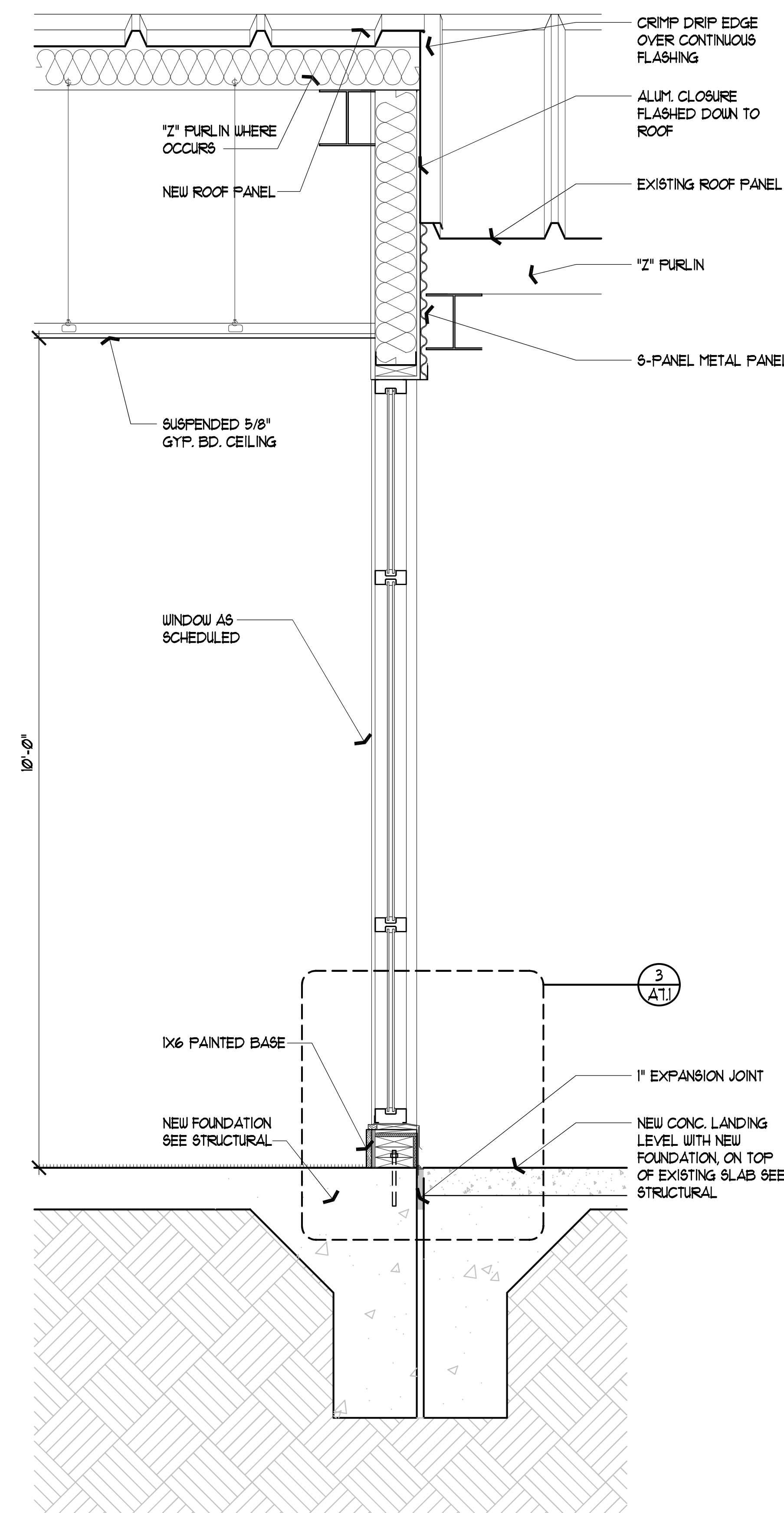
CONSTRUCTION DOCUMENTS

SHEET TITLE

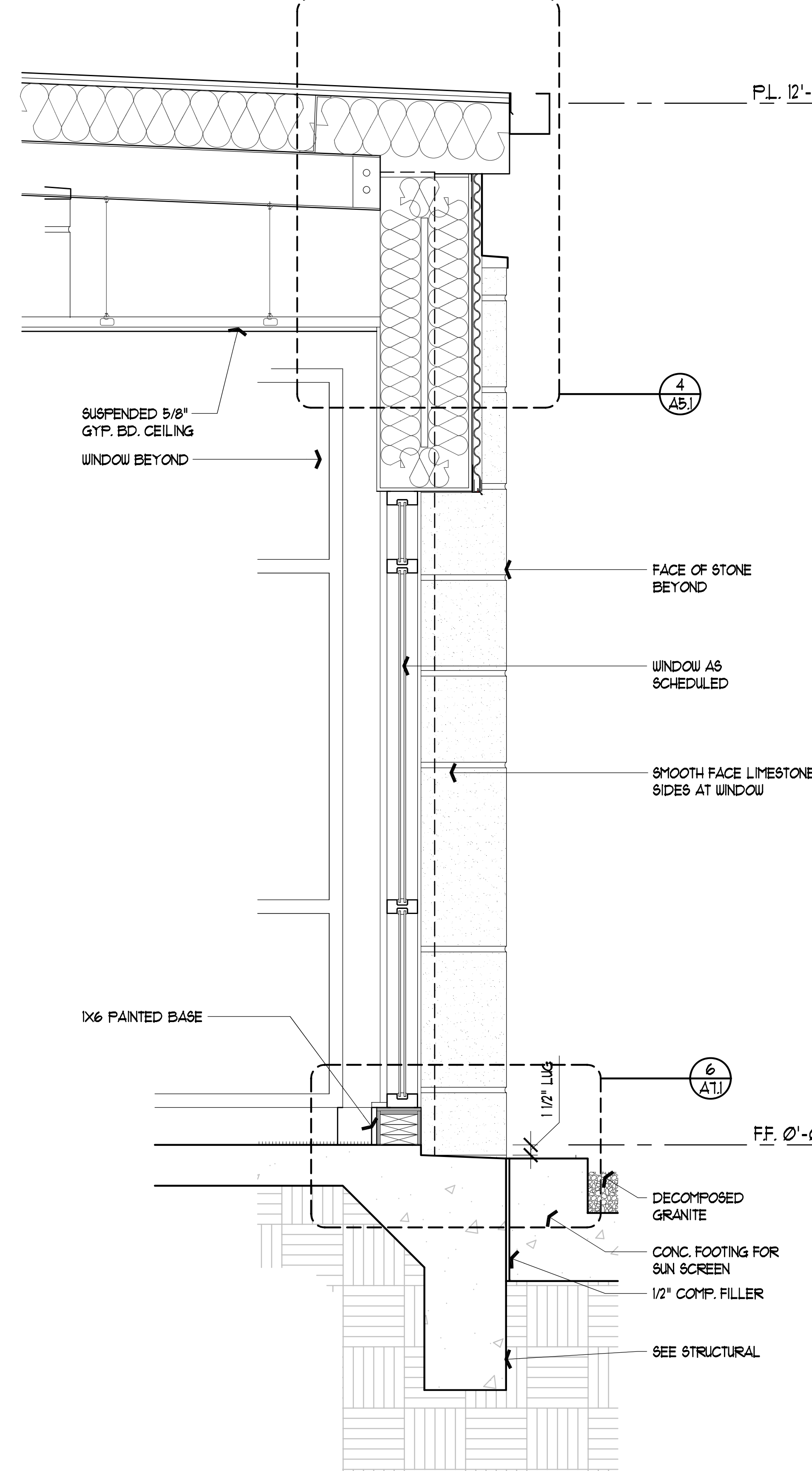
SHEET:

A-5.1

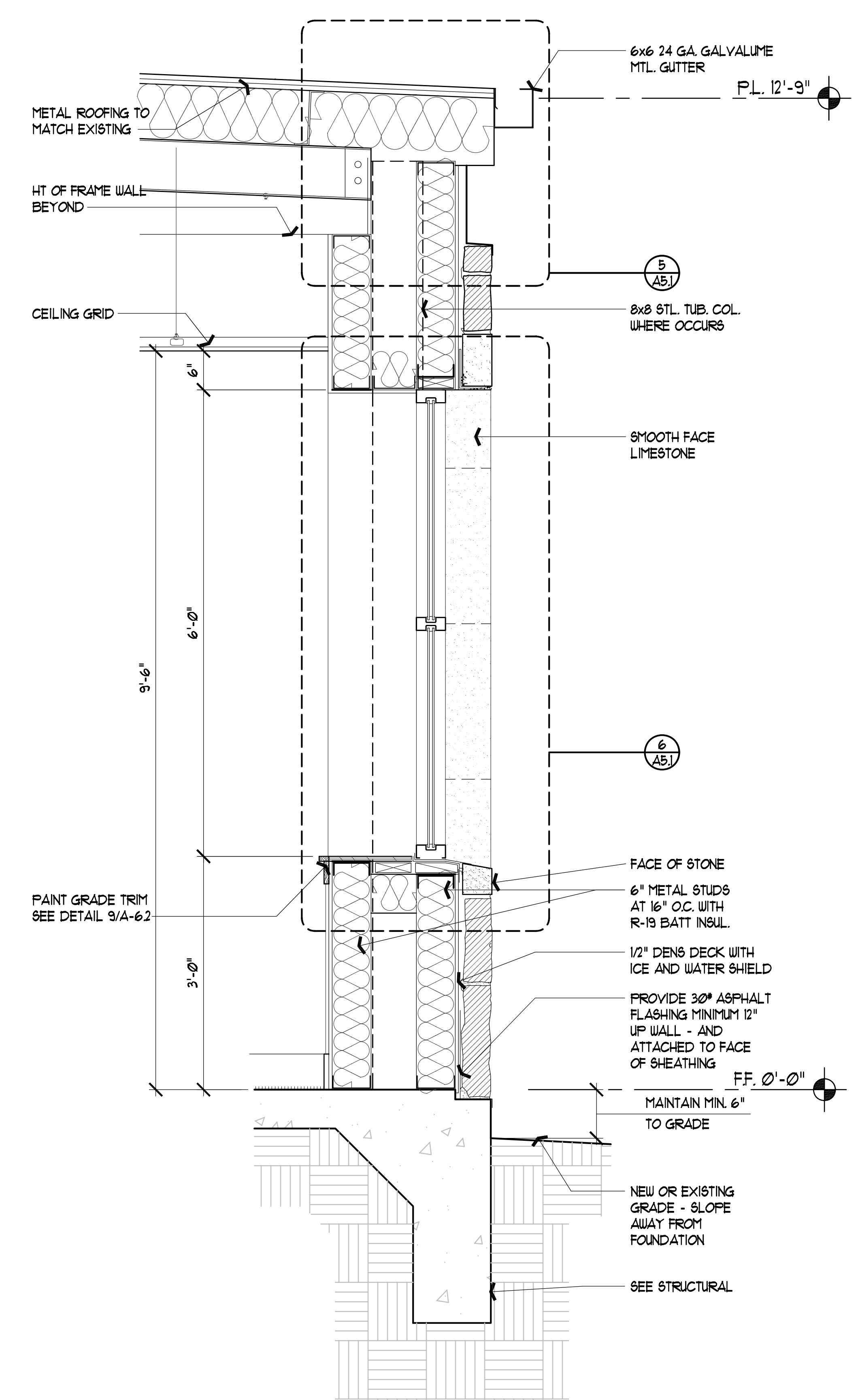
12 OF 18
Date: NOV 16, 2012



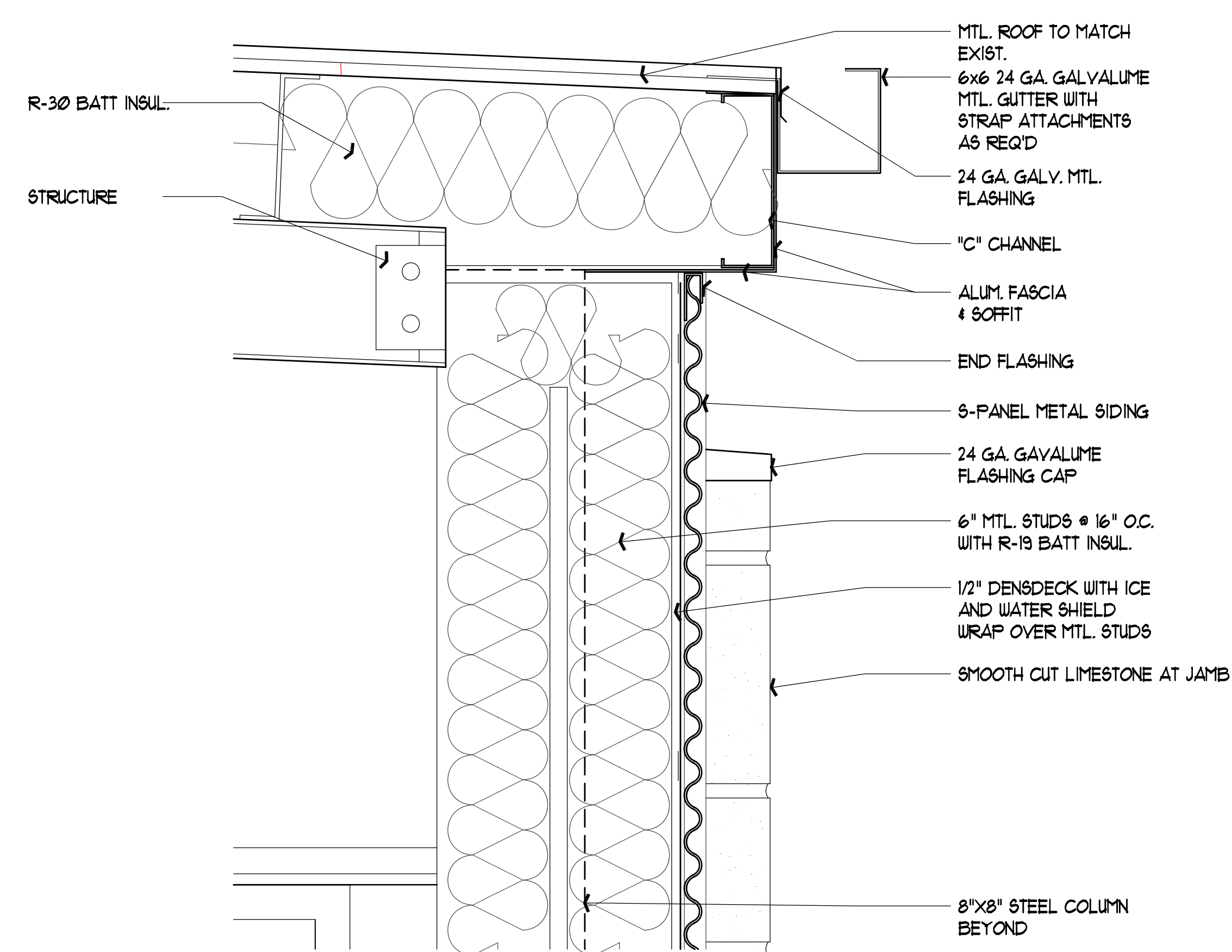
1 SECTION
SCALE: 3/4" = 1'-0"



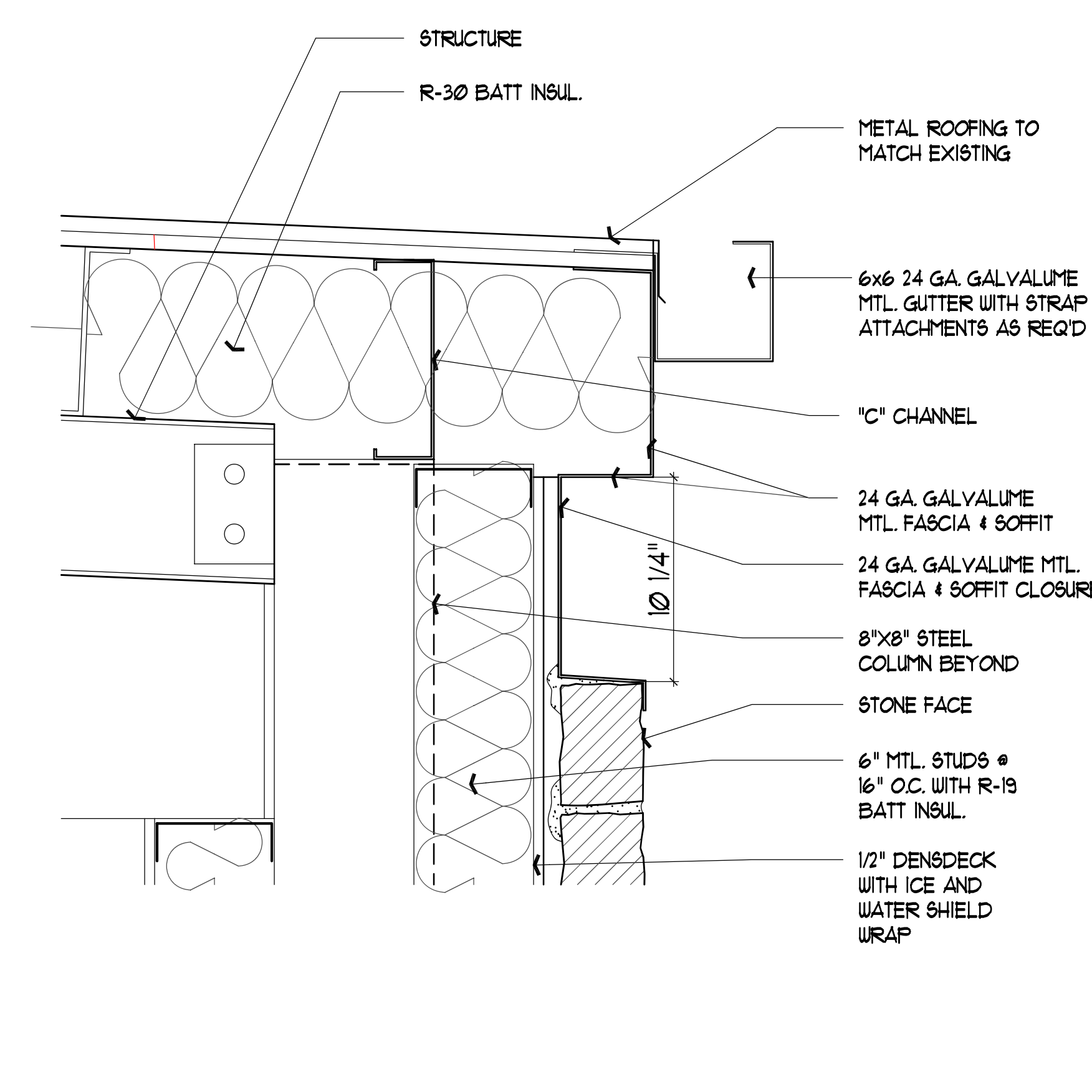
2 SECTION
SCALE: 3/4" = 1'-0"



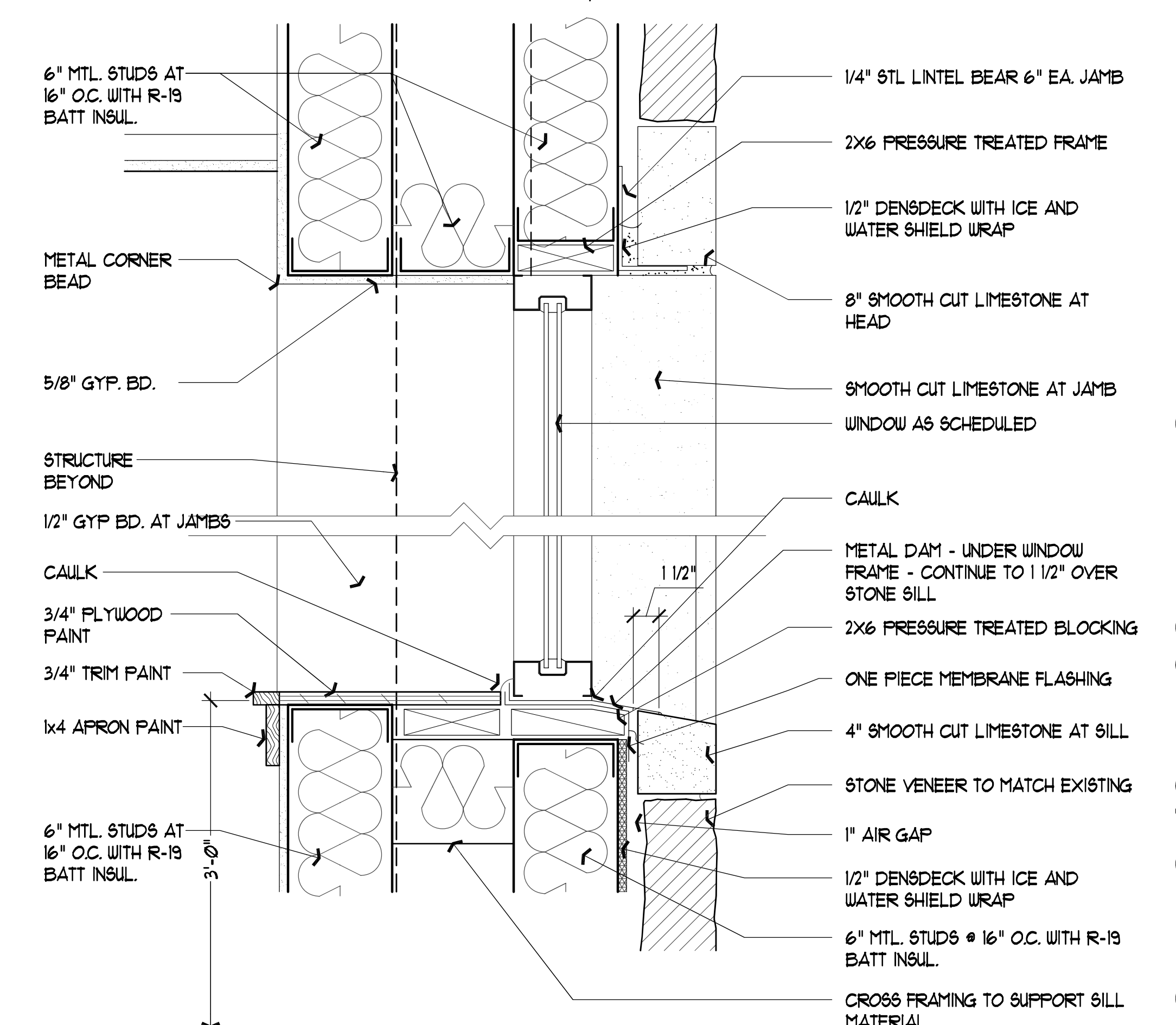
3 SECTION
SCALE: 3/4" = 1'-0"



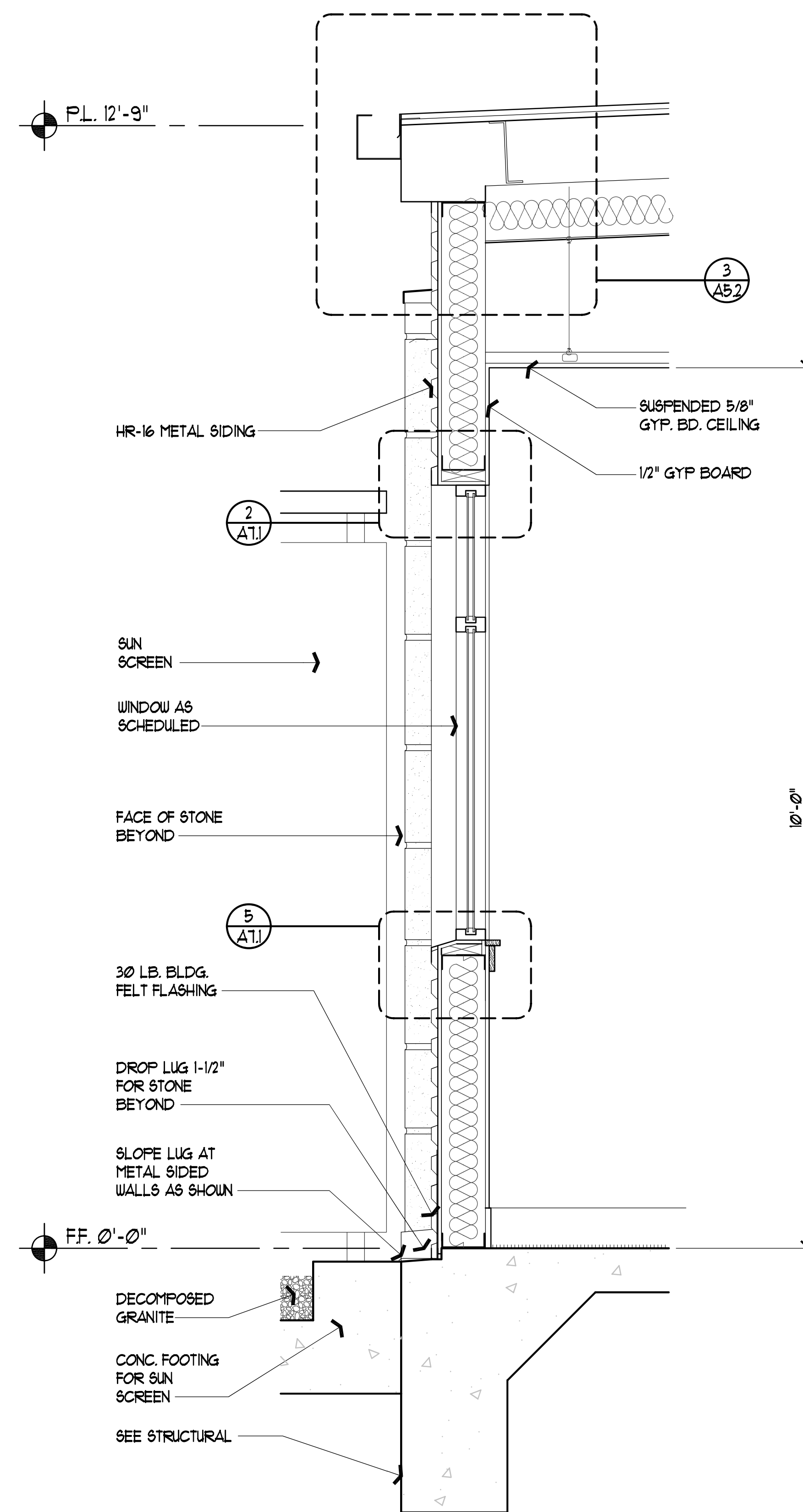
4 DETAIL
SCALE: 1 1/2" = 1'-0"



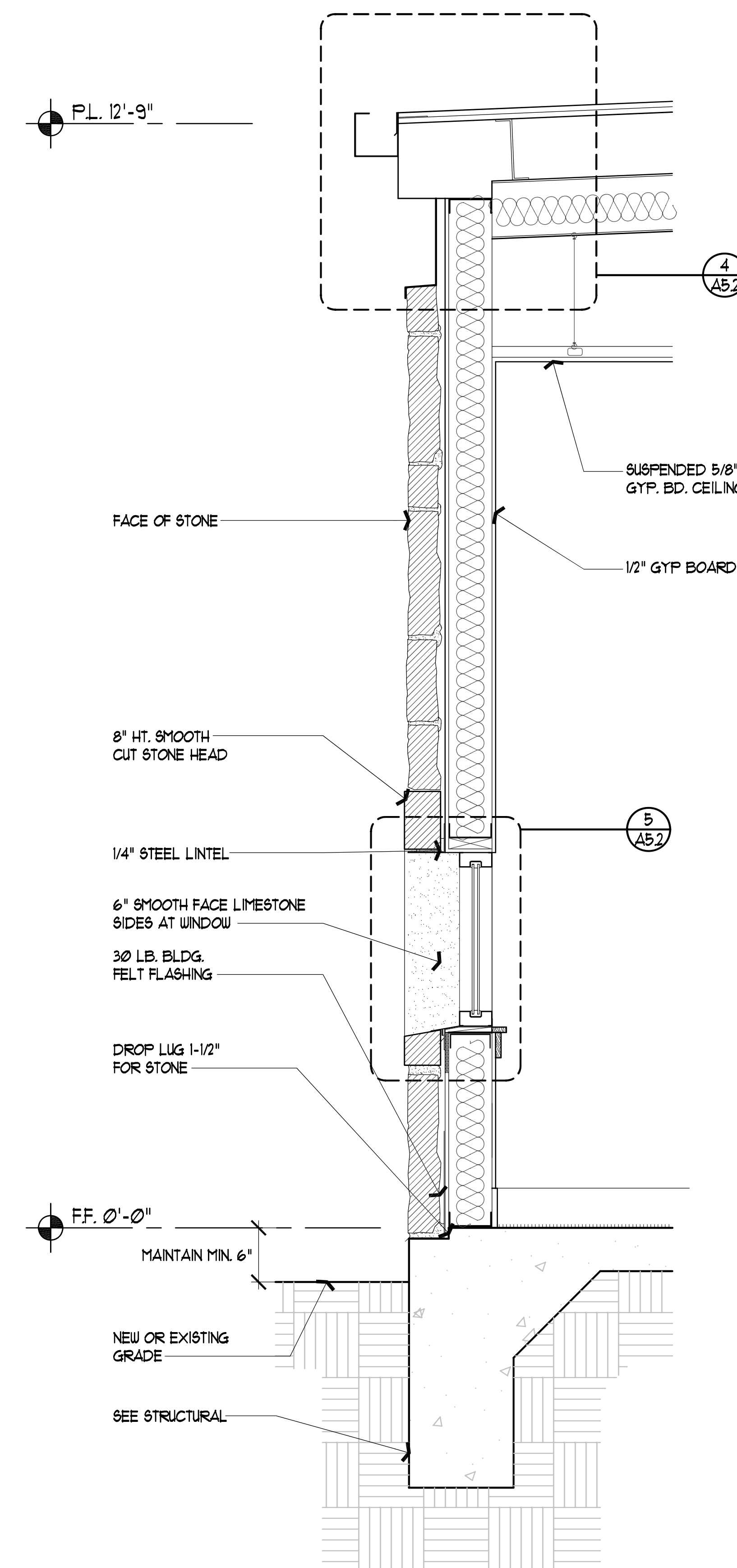
5 DETAIL
SCALE: 1 1/2" = 1'-0"



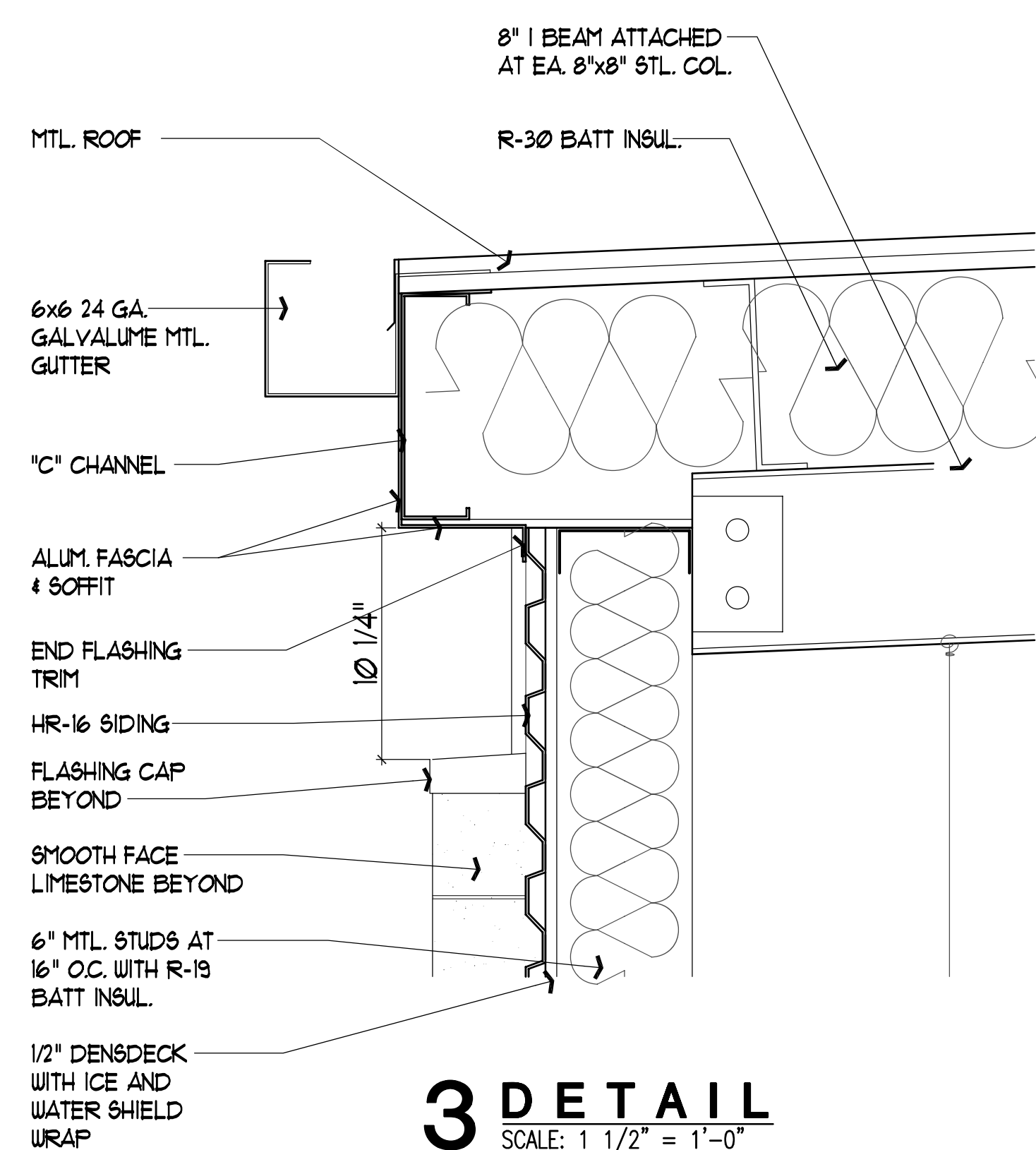
6 DETAIL
SCALE: 1 1/2" = 1'-0"



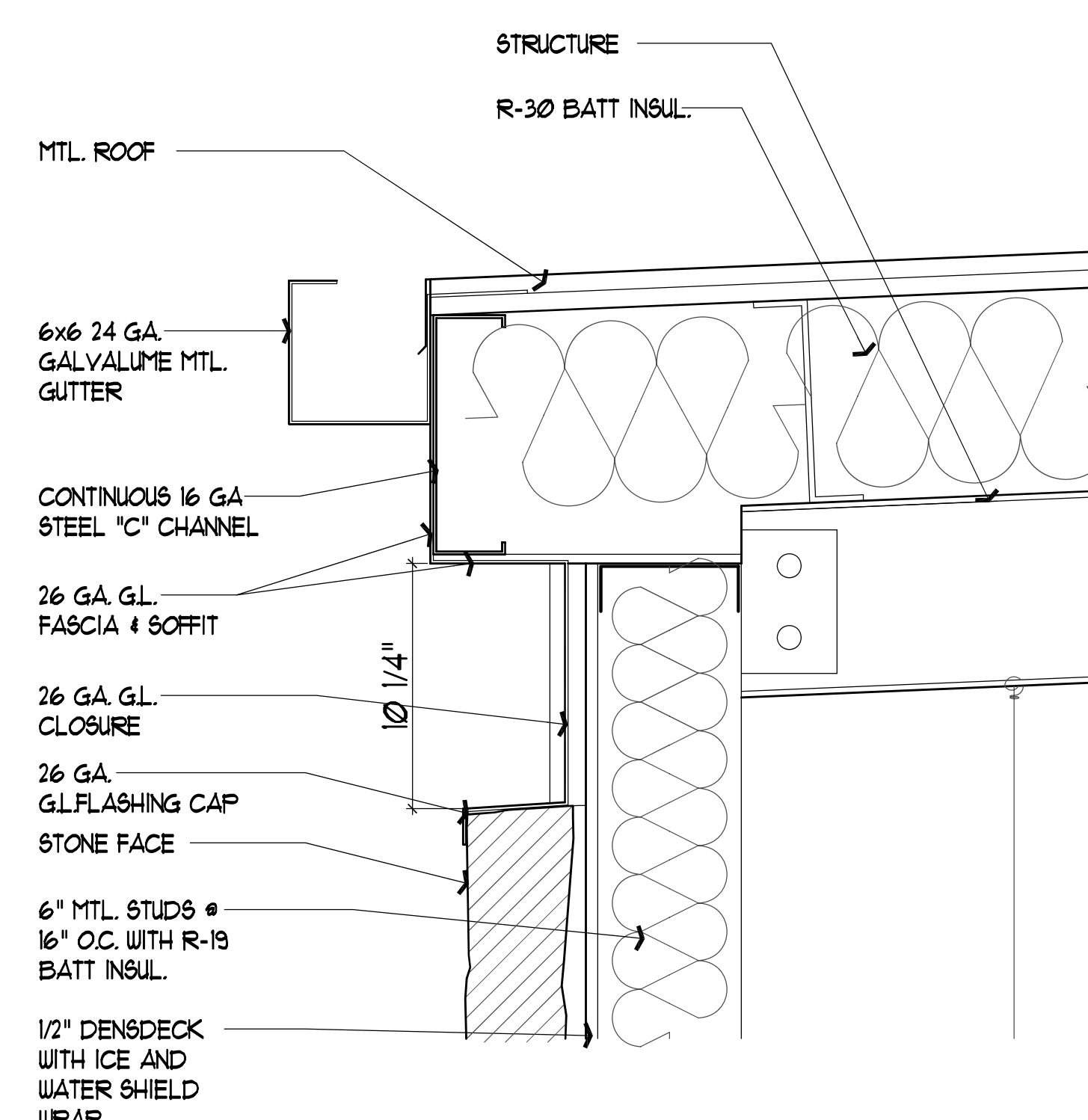
1 SECTION
SCALE: 3/4" = 1'-0"



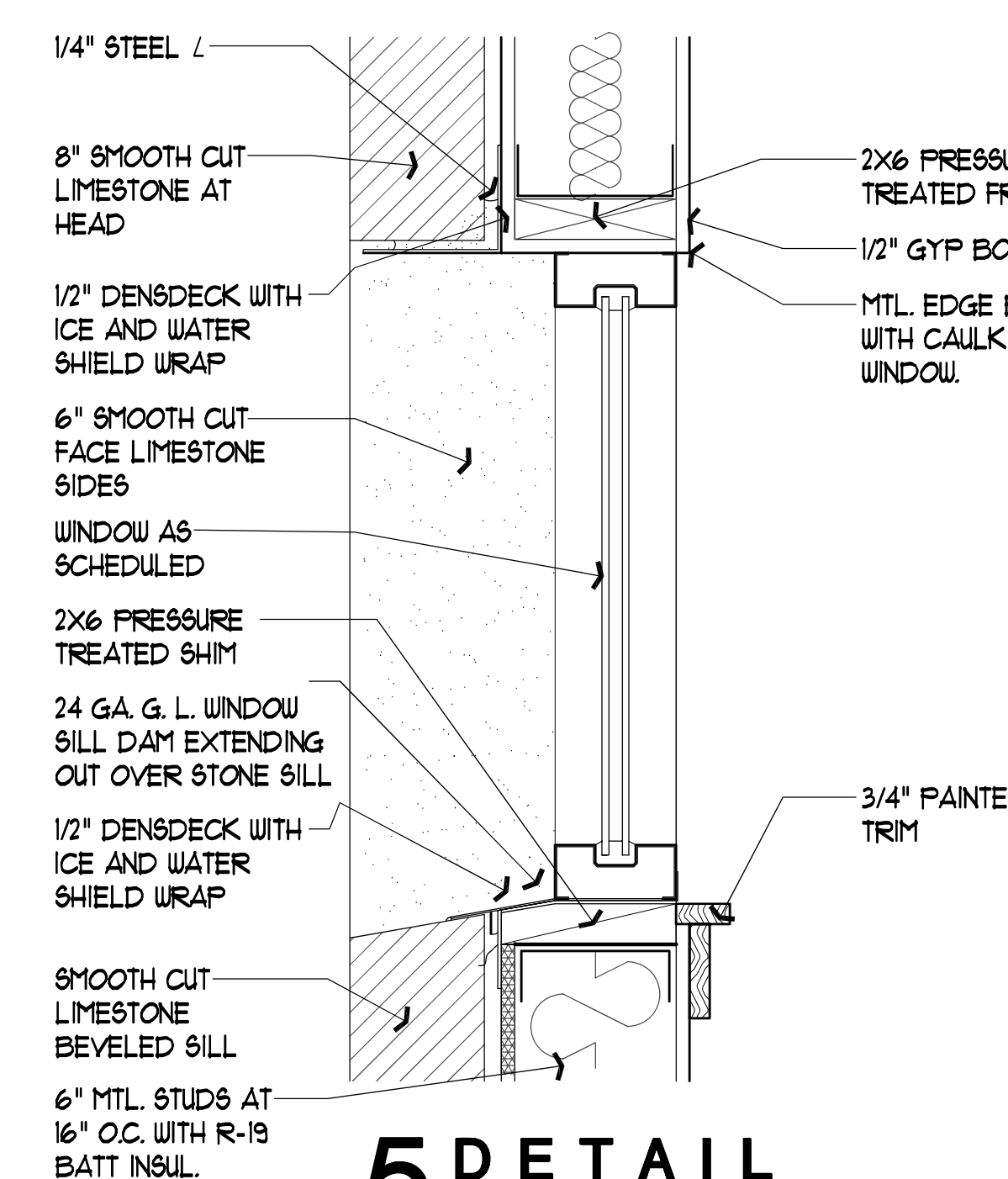
2 SECTION
SCALE: 3/4" = 1'-0"



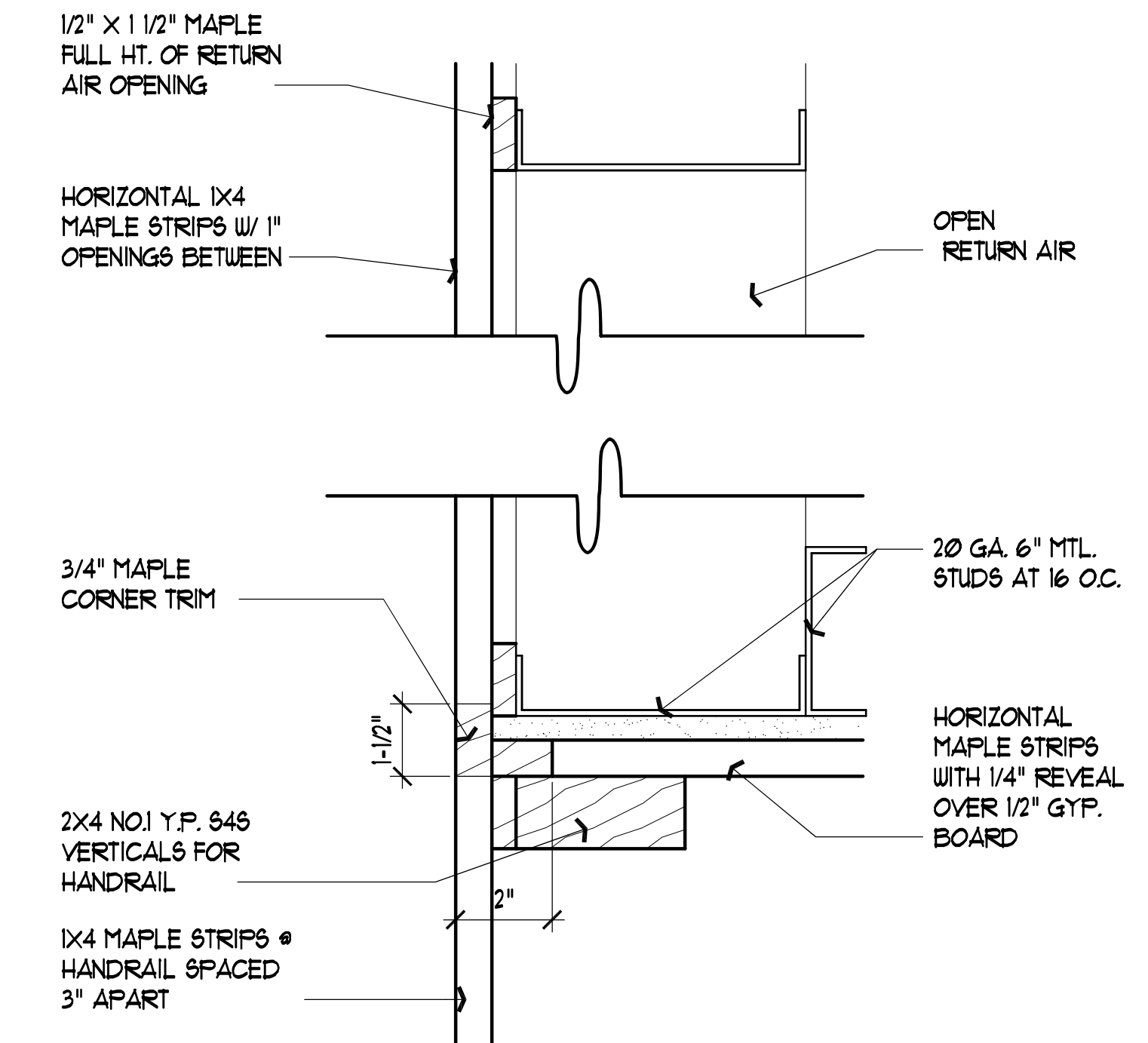
3 DETAIL
SCALE: 1 1/2" = 1'-0"



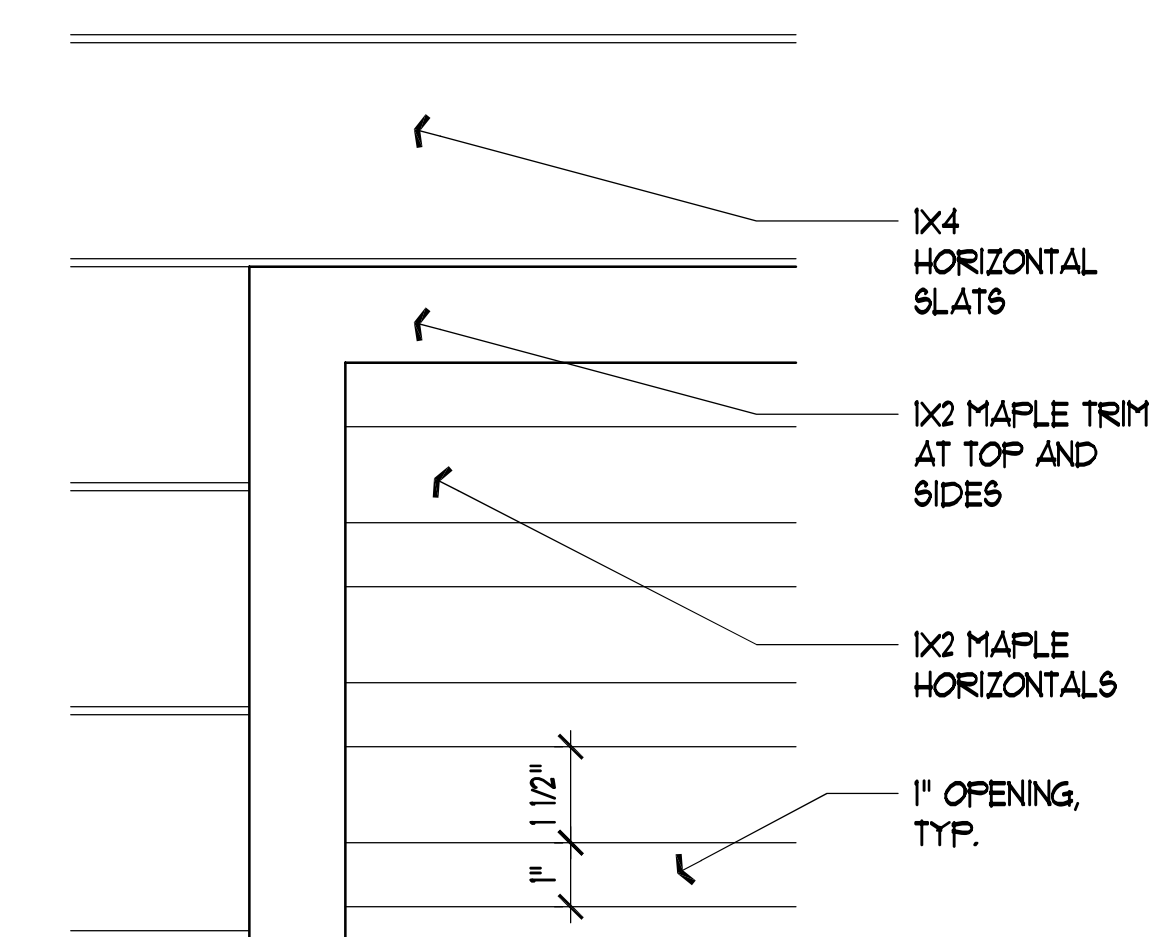
4 DETAIL
SCALE: 1 1/2" = 1'-0"



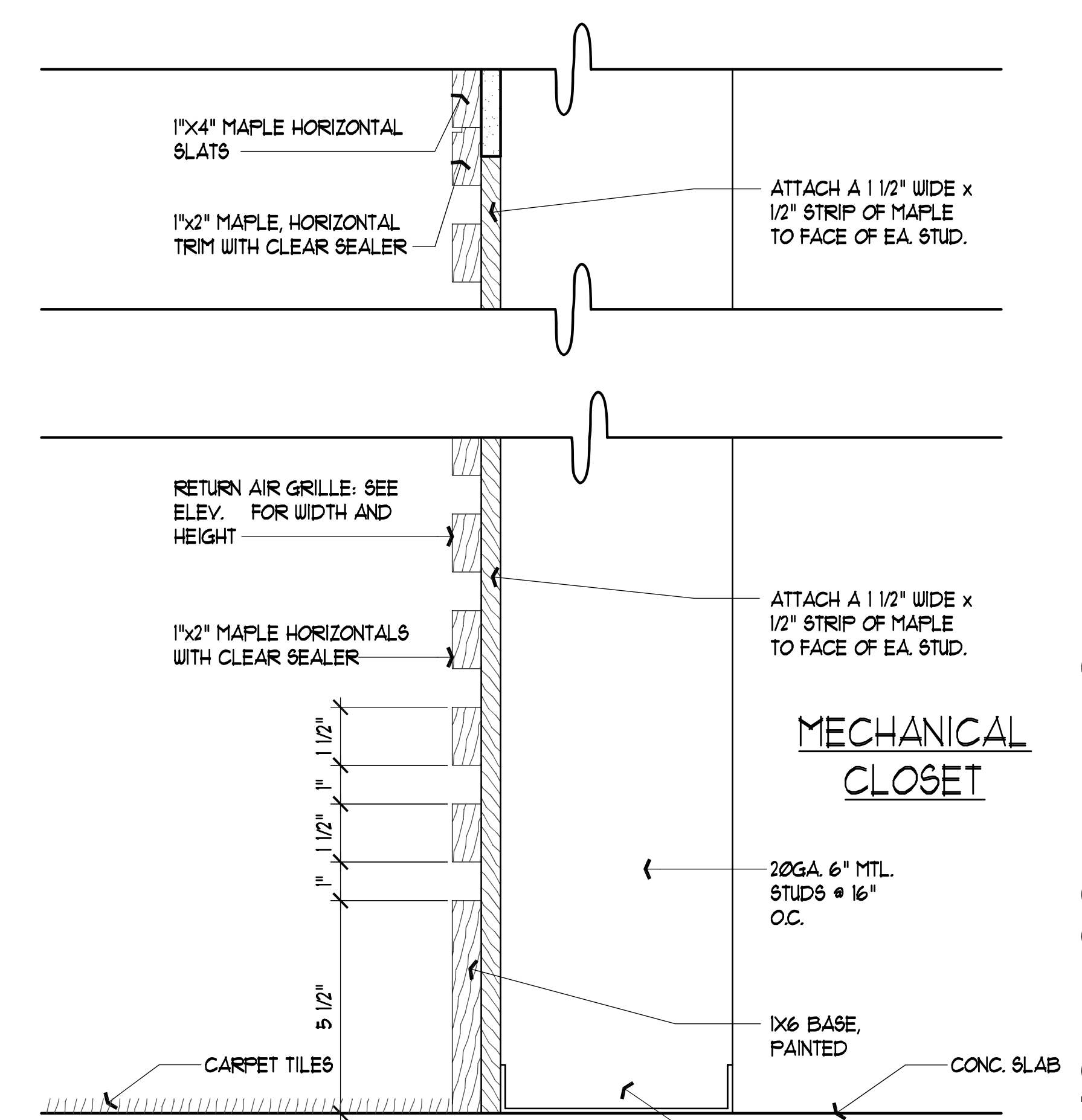
5 DETAIL
SCALE: 1 1/2" = 1'-0"



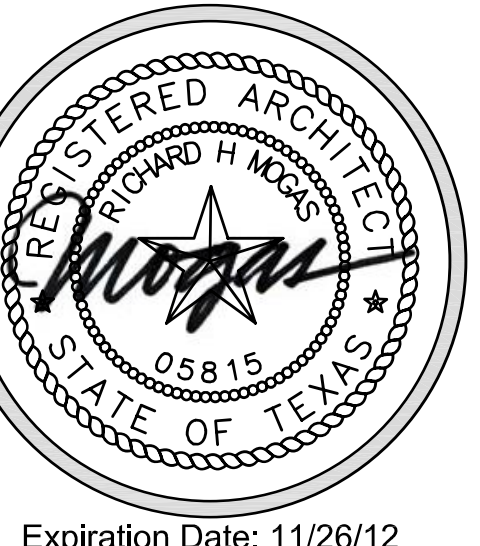
6 R.A.G. PLAN DETAIL
SCALE: 3" = 1'-0"



7 R.A.G. ELEV. DETAIL
SCALE: 3" = 1'-0"



8 R.A.G. SECT. DETAIL
SCALE: 3" = 1'-0"



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 KENNING AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
713.226.2222 F 210.226.1846 WWW.RICHARDMOGAS.COM
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

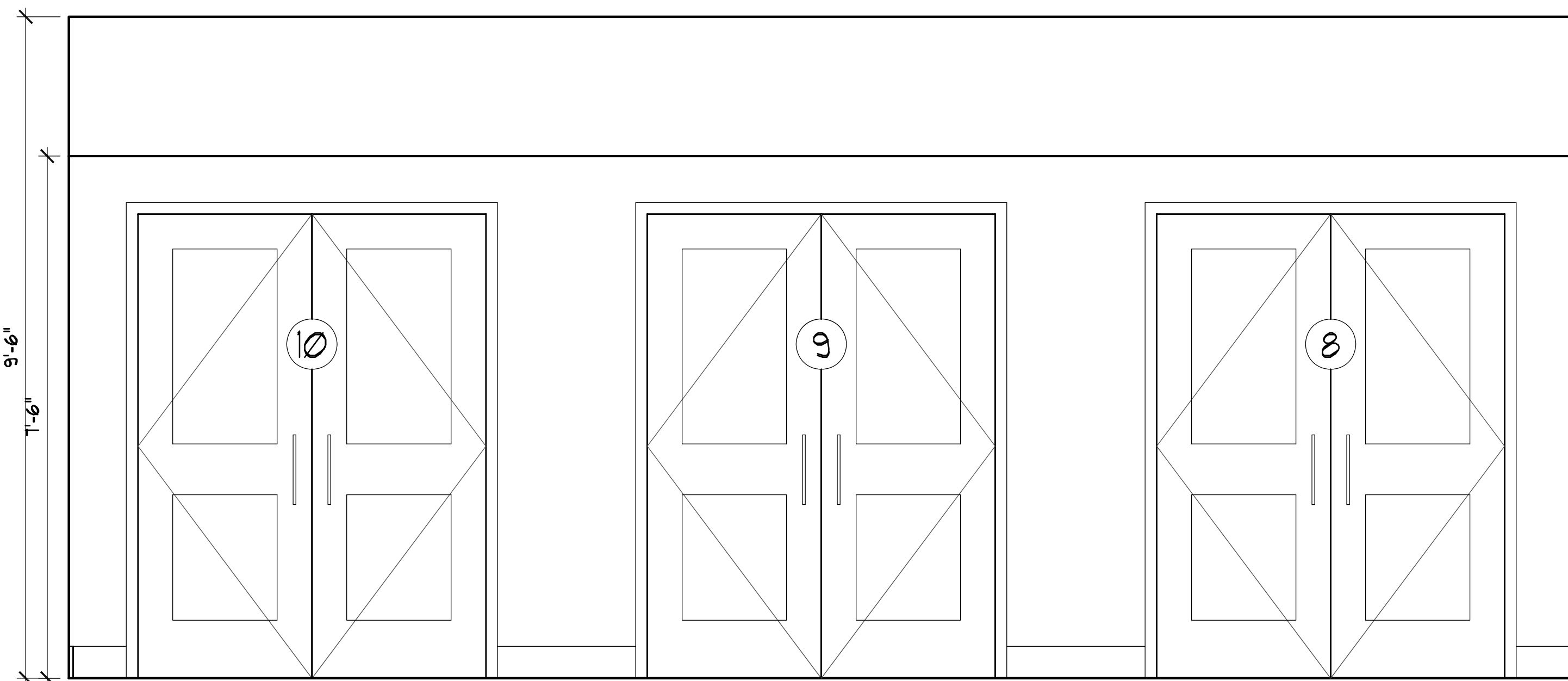
Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

WALL SECTIONS

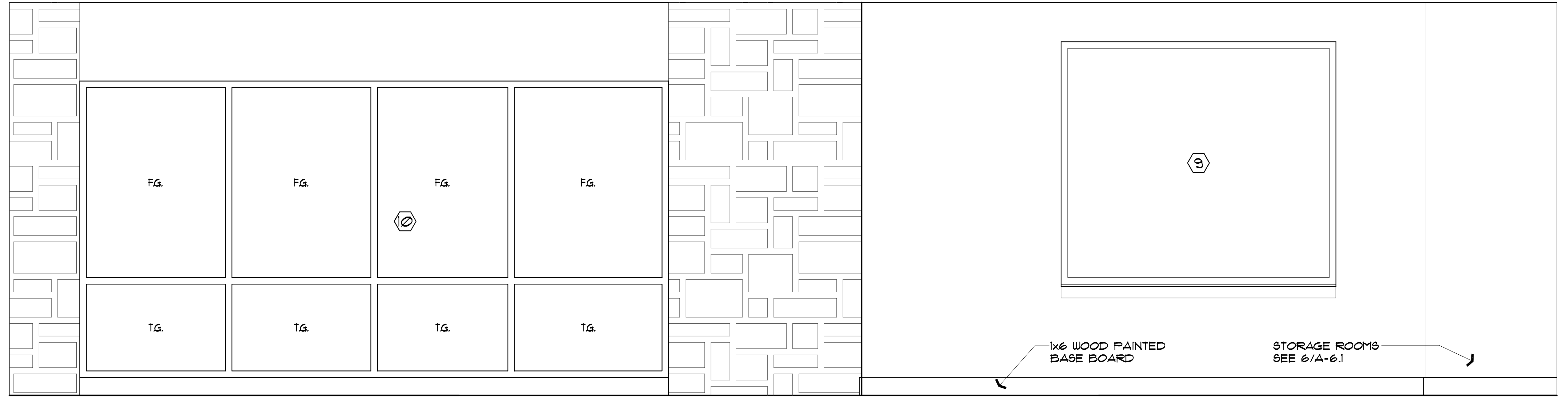
CONSTRUCTION DOCUMENTS

SHEET TITLE

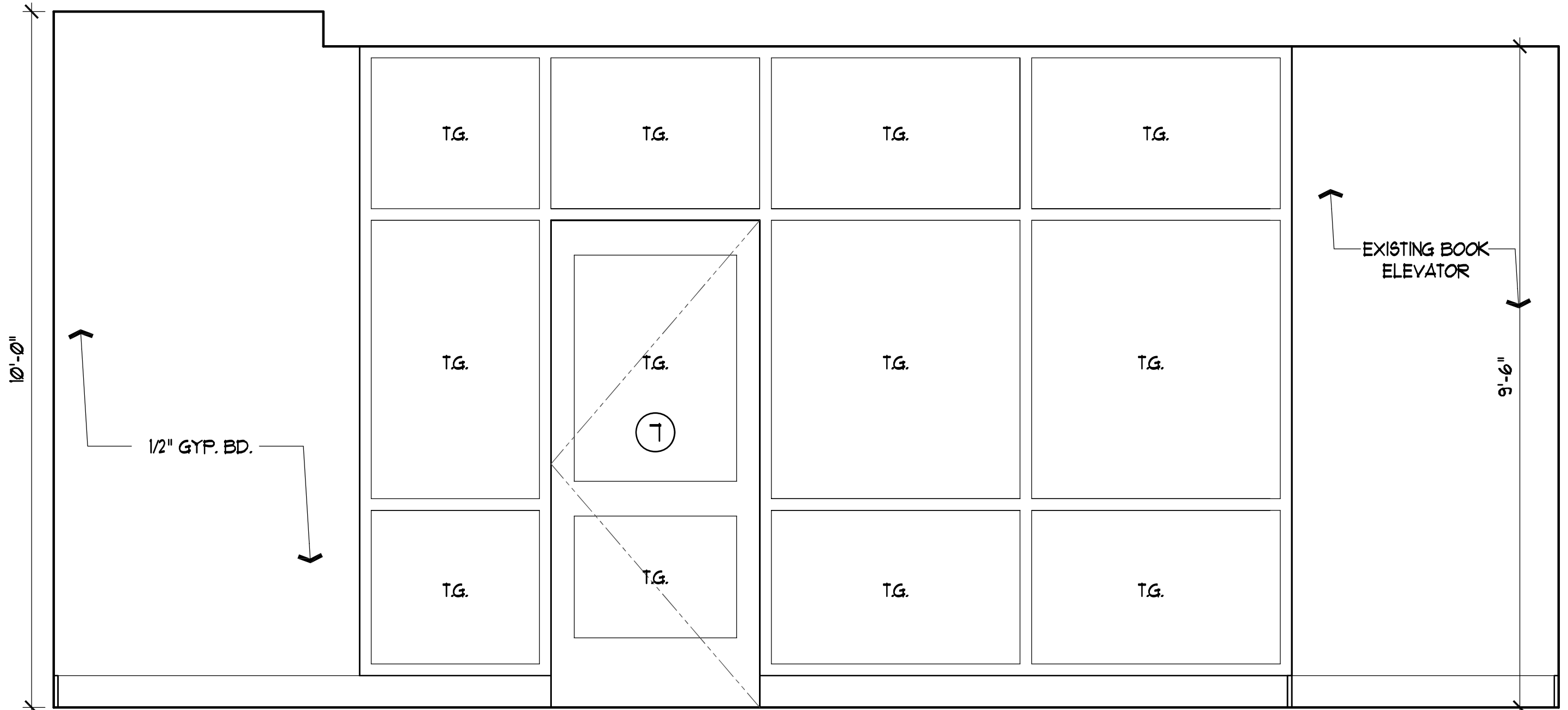
SHEET:
A-5.2
13 OF 18
Date: NOV 16, 2012



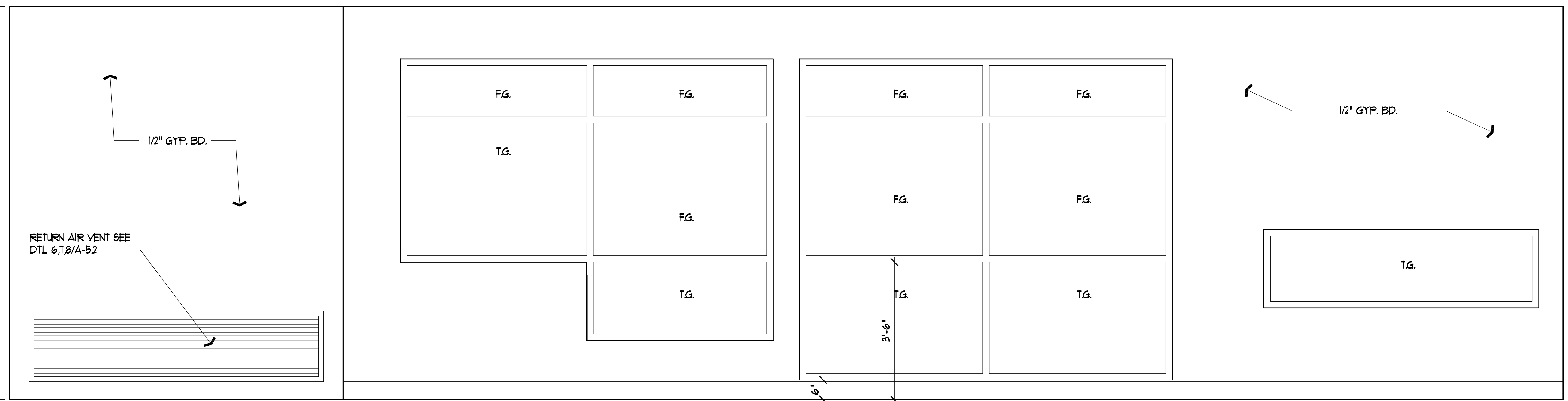
1 MEETING RM.
SCALE: 1/2" = 1'-0"



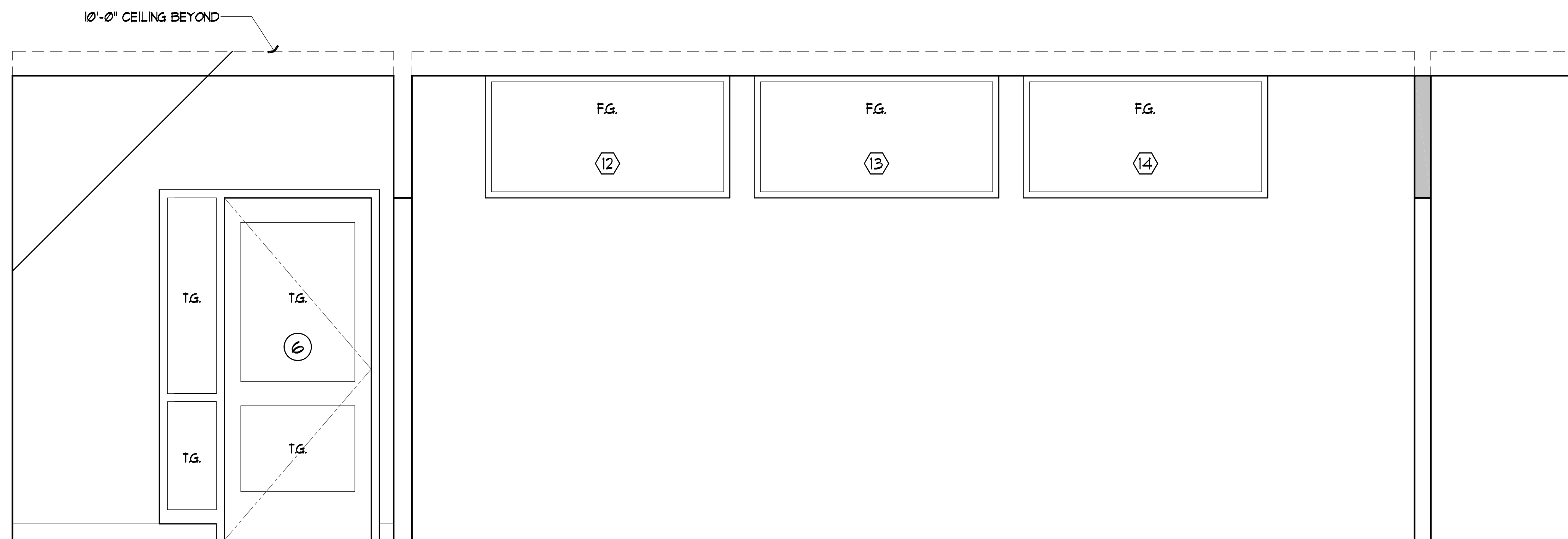
2 NORTH INTERIOR
SCALE: 1/2" = 1'-0"



3 MEETING RM.
SCALE: 1/2" = 1'-0"

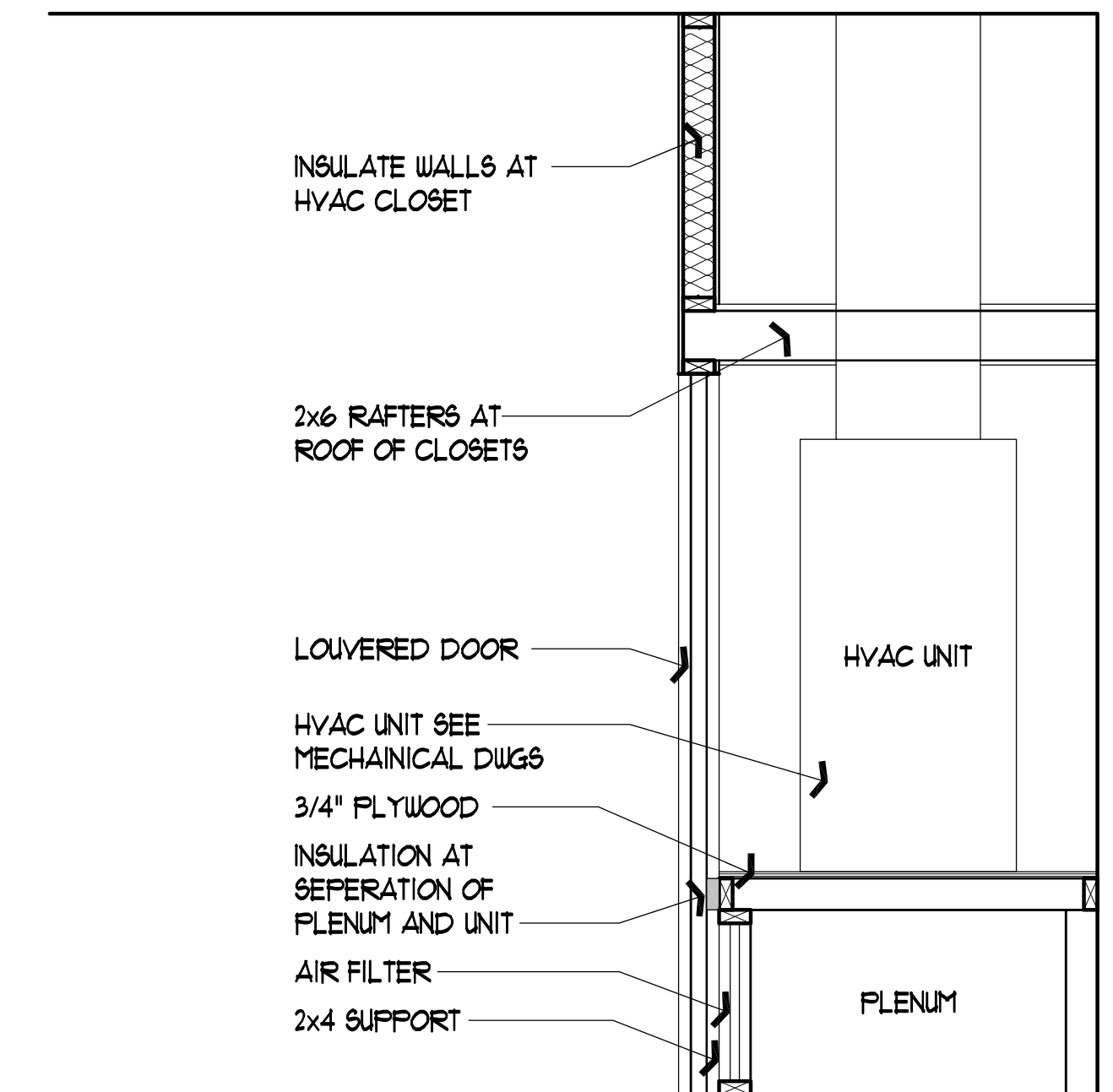


4 SOUTH INTERIOR
SCALE: 1/2" = 1'-0"



5 HALL
SCALE: 1/2" = 1'-0"

6 MEETING ROOM
SCALE: 1/2" = 1'-0"



7 HVAC CLOSET
SCALE: 1/2" = 1'-0"



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 KENNOTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
T 210.226.2220 F 210.226.1846 WWW.RICHARDMOGAS.COM
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

INTERIOR ELEVATIONS

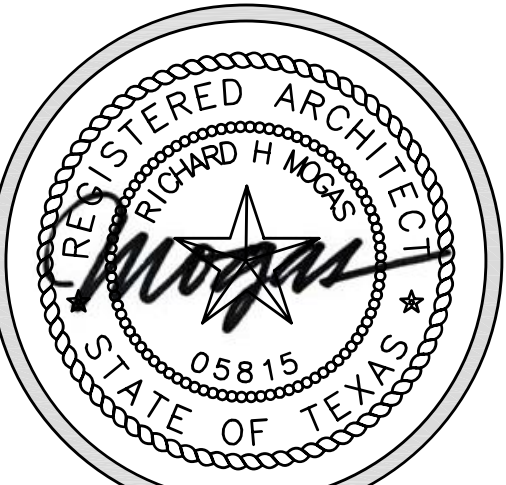
CONSTRUCTION DOCUMENTS

SHEET TITLE

SHEET:

A-6.1

14 OF 18
Date: NOV 16, 2012



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 KENNINGTON AVENUE SUITE 1
DALLAS, TEXAS 75215
714.236.2226 F 214.236.1846 WWW.RICHARDMOGAS.COM
MOGASRMD.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

INTERIOR ELEVATIONS

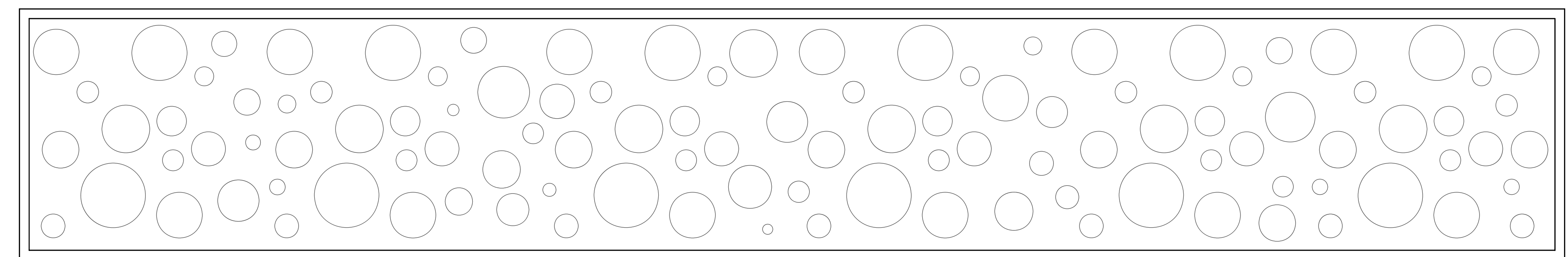
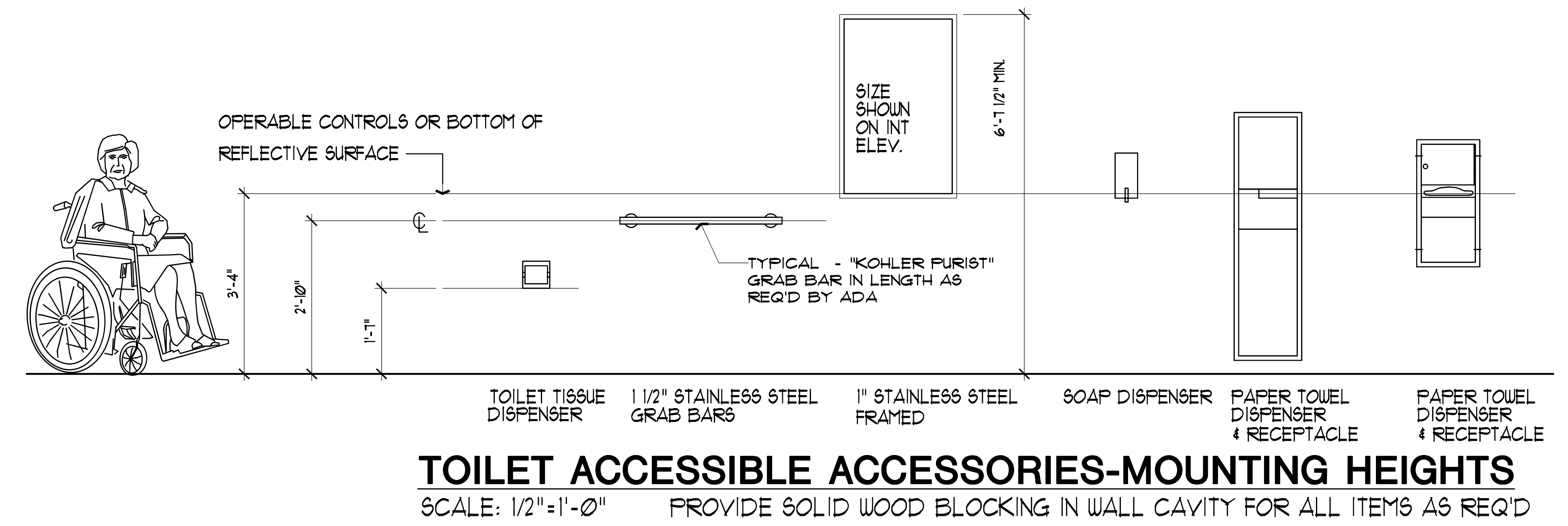
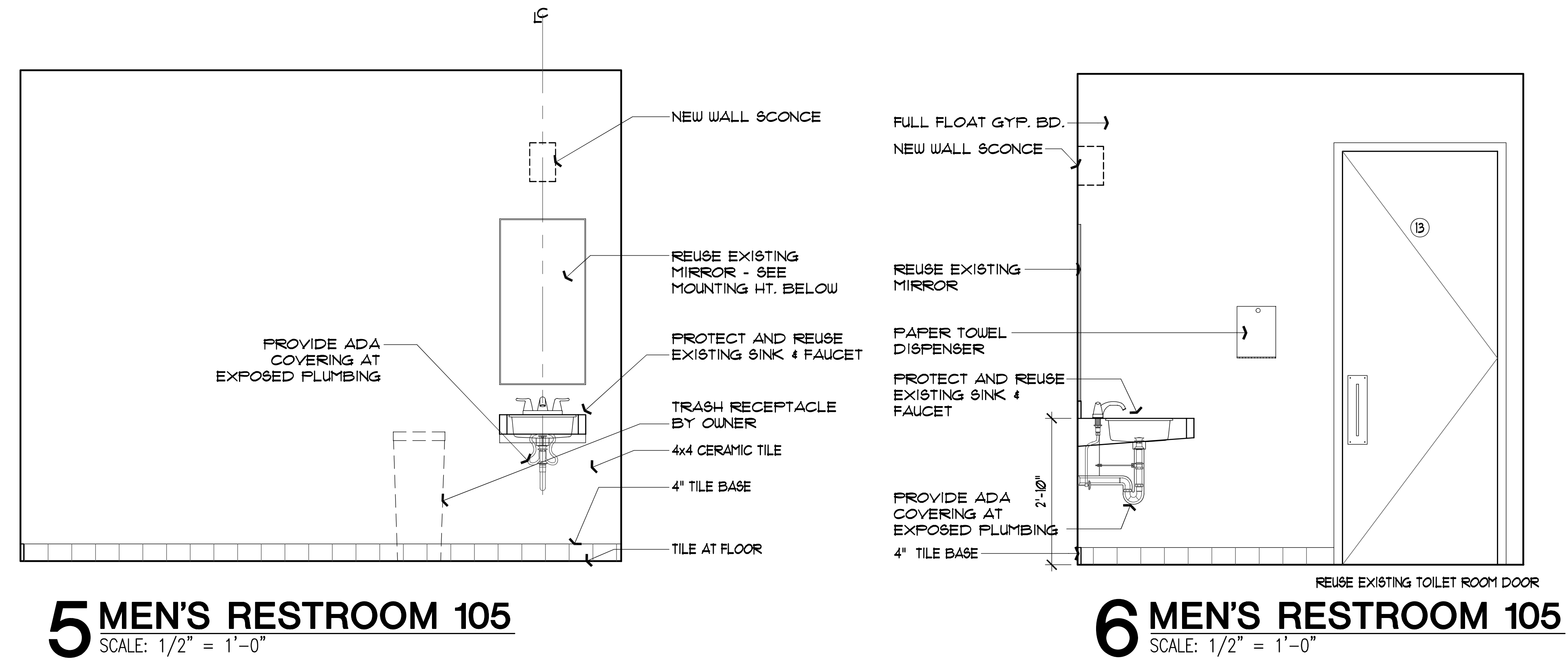
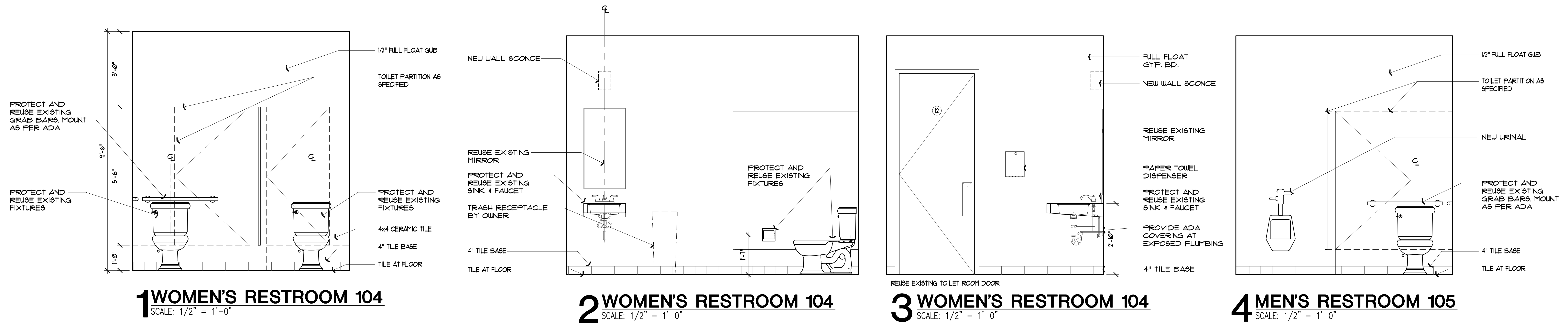
CONSTRUCTION DOCUMENTS

SHEET TITLE

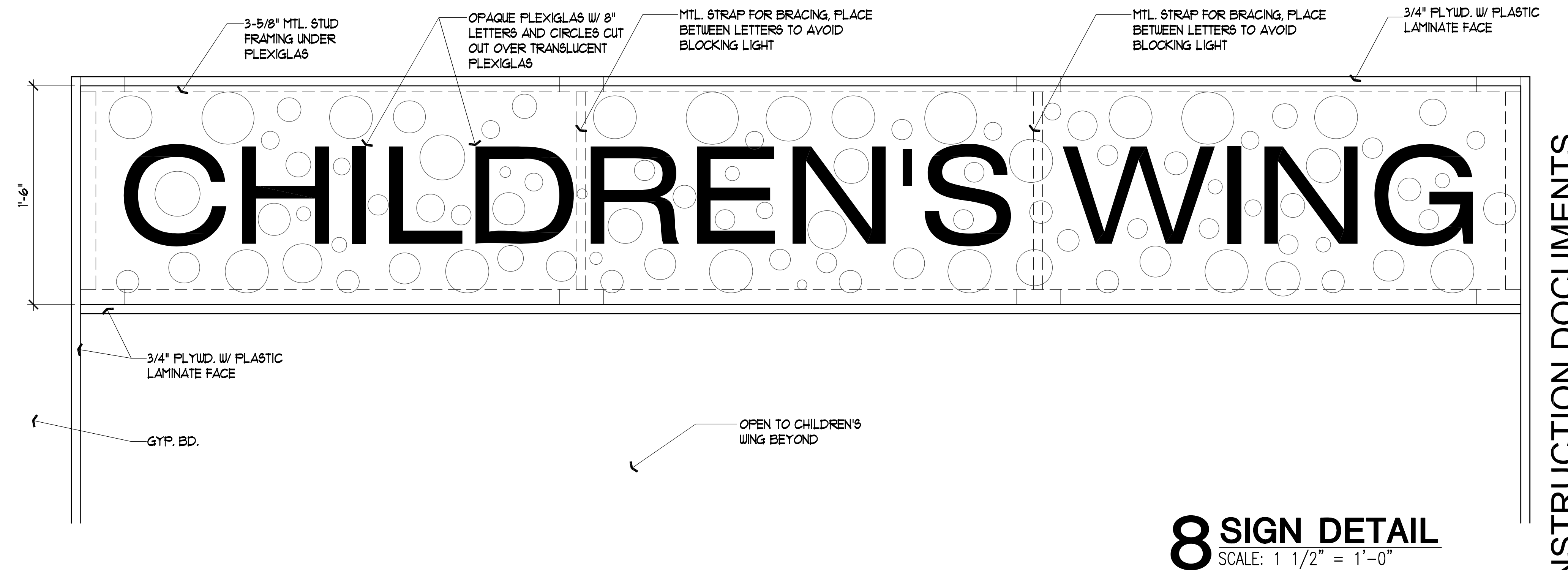
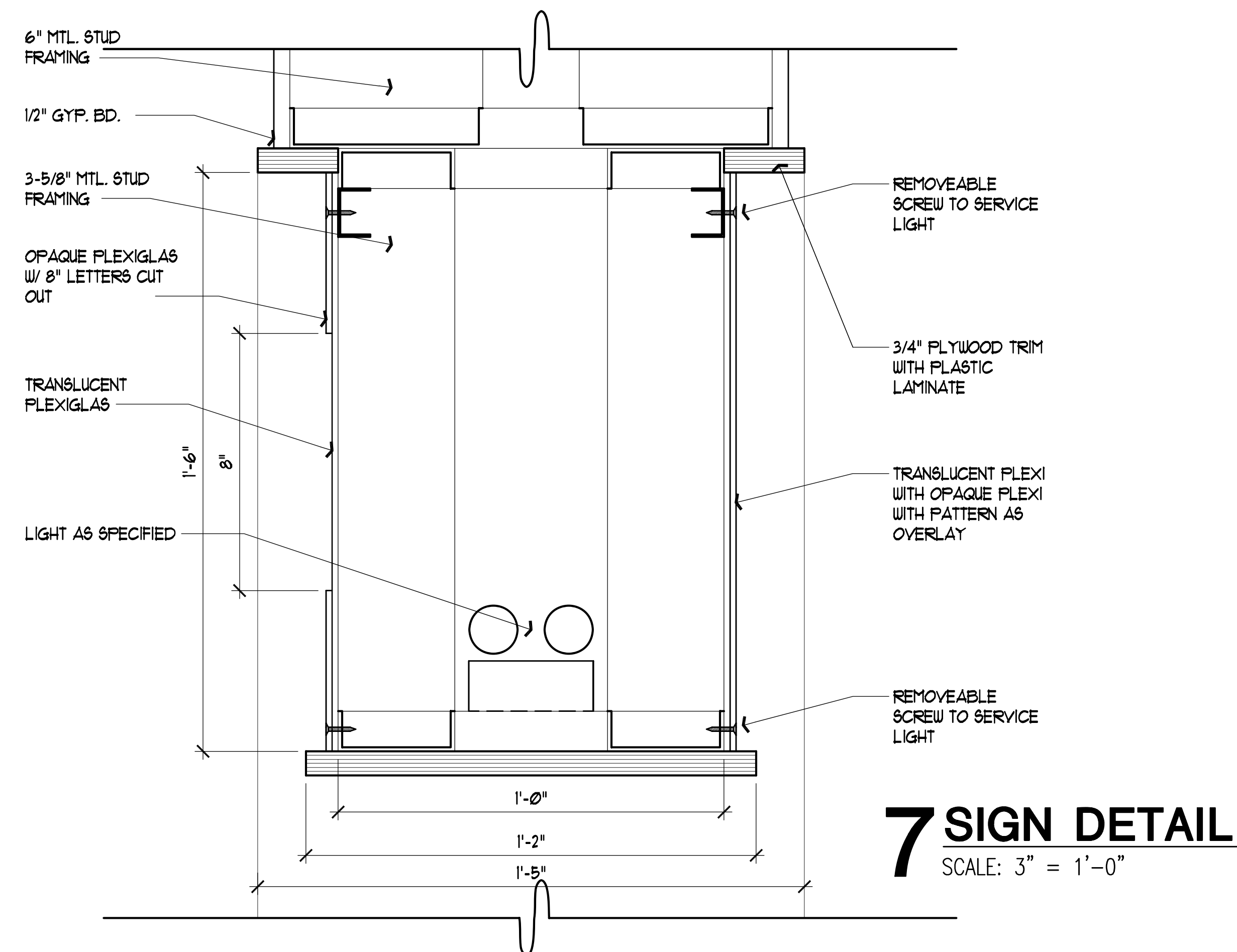
SHEET:

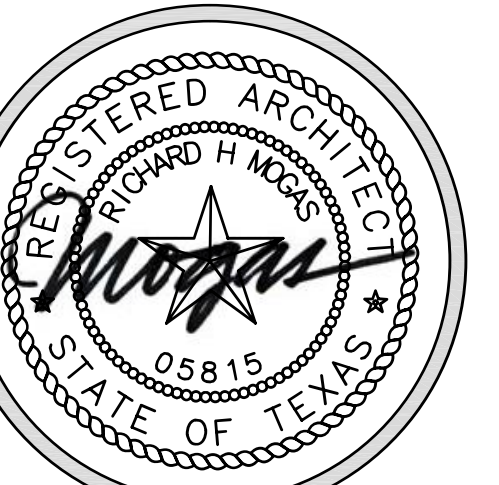
A-6.2

15 OF 18
Date: NOV 16, 2012



BACK OF SIGN DETAIL





Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 LENOXTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
710.226.2220 F 210.226.1846 WWW.RICHARDMOGAS.COM
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

INTERIOR ELEVATIONS

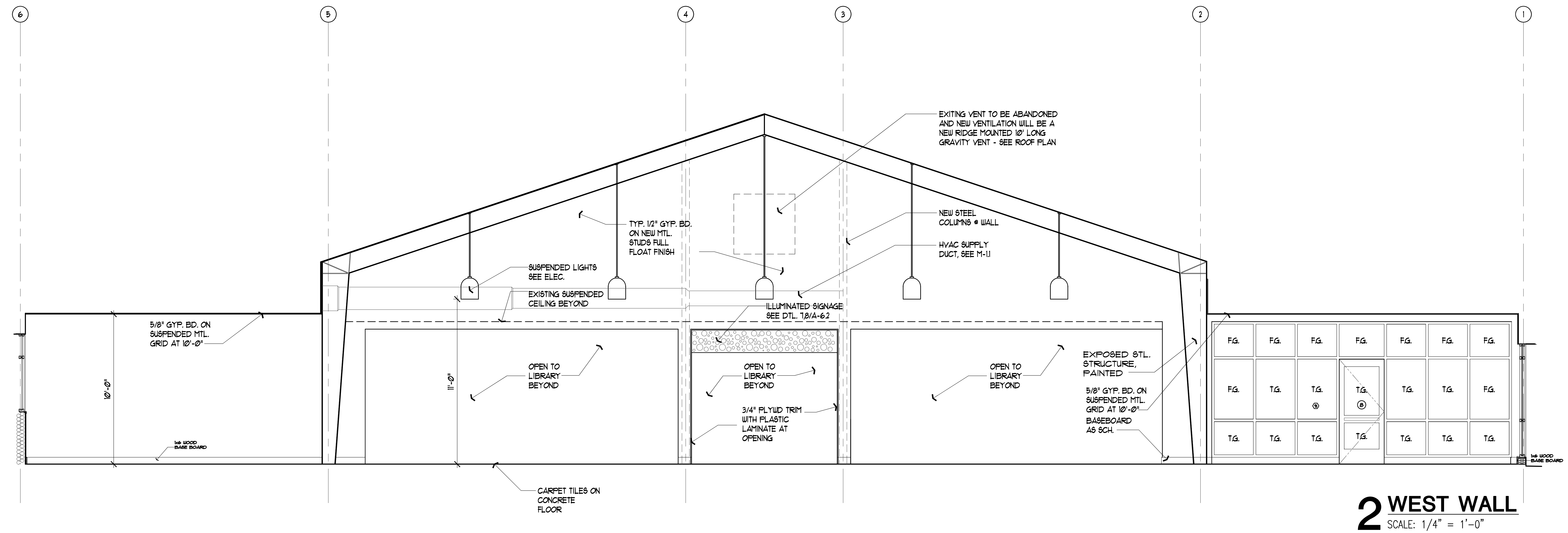
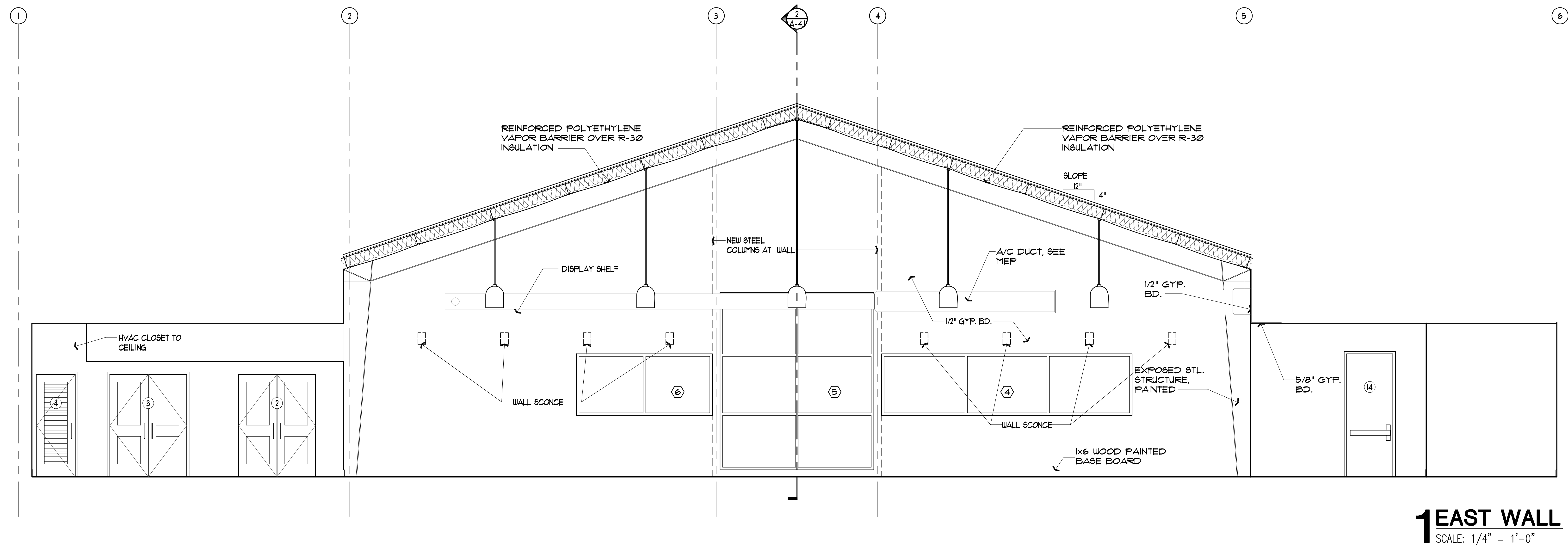
SHEET TITLE

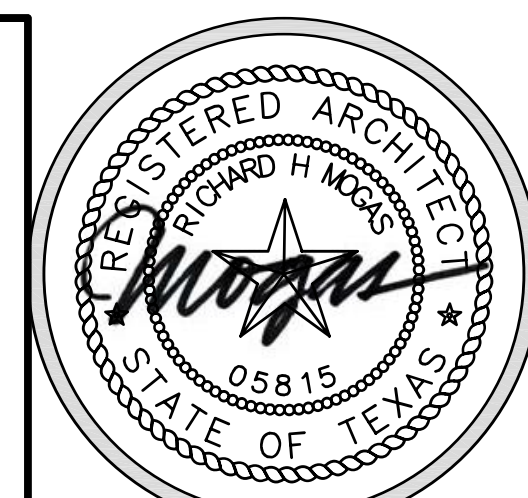
SHEET:

A-6.3

16 OF 18
Date: NOV 16, 2012

CONSTRUCTION DOCUMENTS





Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 KENINGTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
713.236.2220 F 210.226.1846 WWW.RICHARDMOGAS.COM
MOGAS@MOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

DETAILS

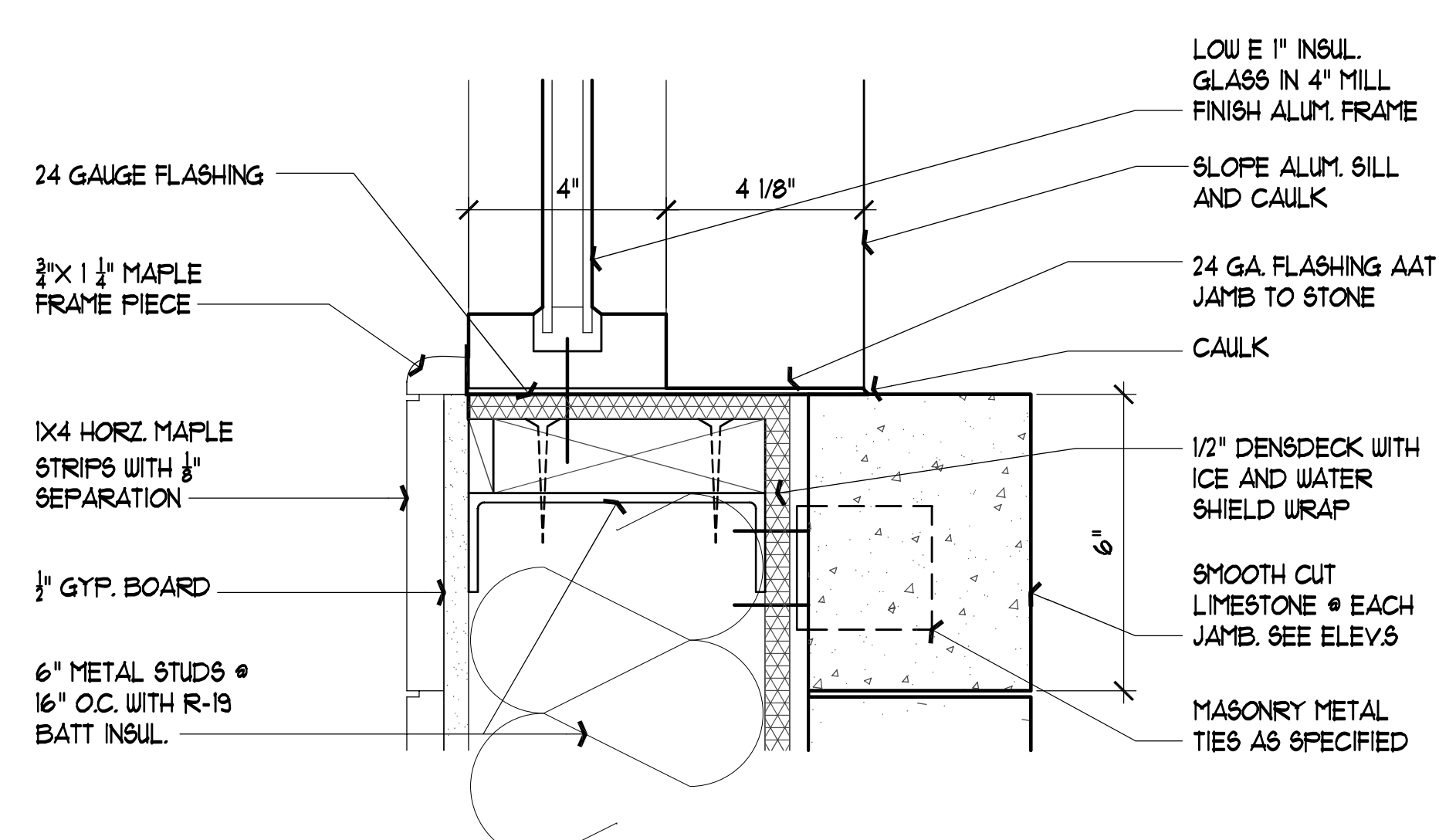
CONSTRUCTION DOCUMENTS

SHEET TITLE

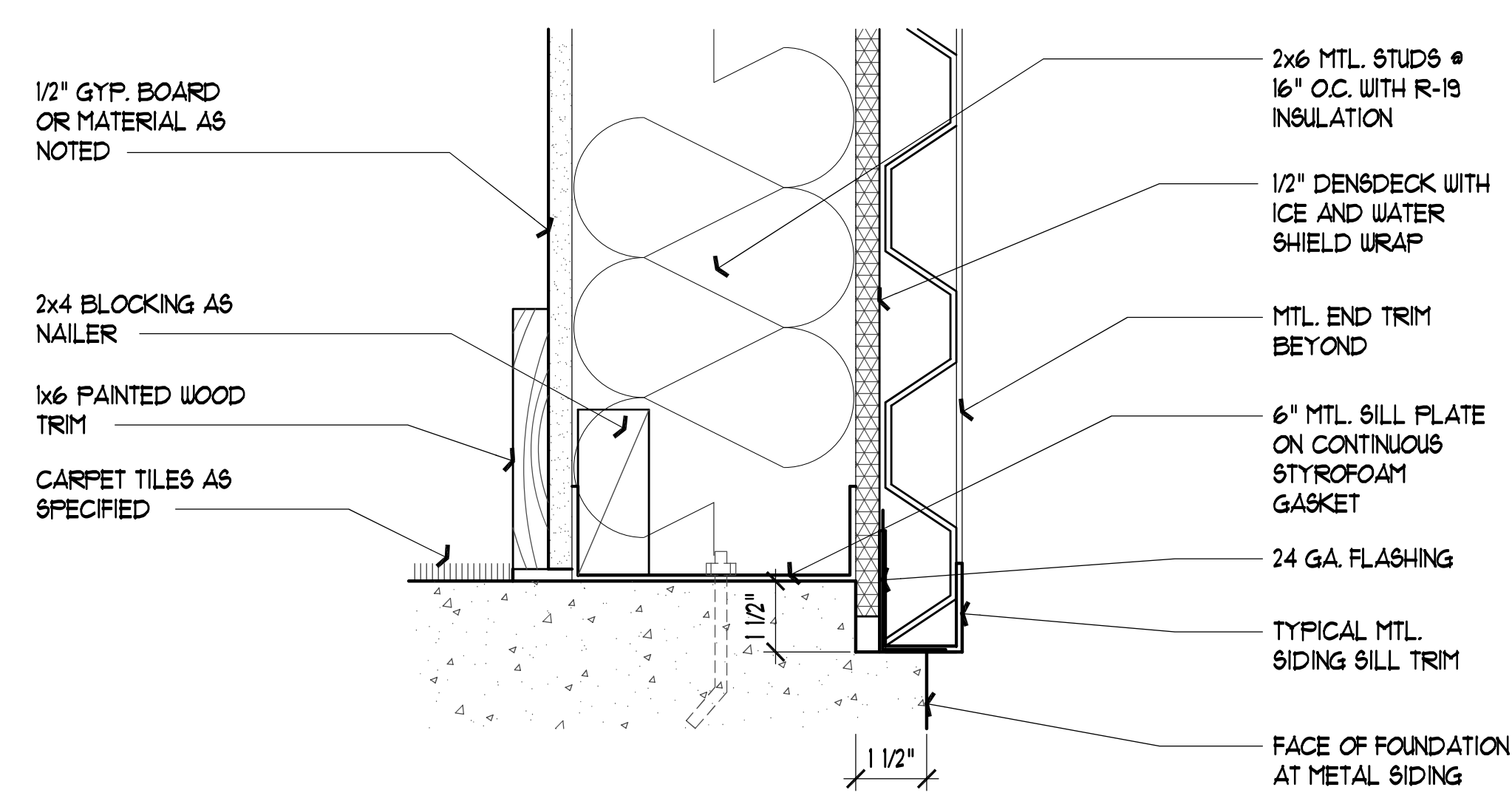
SHEET:

A-7.1

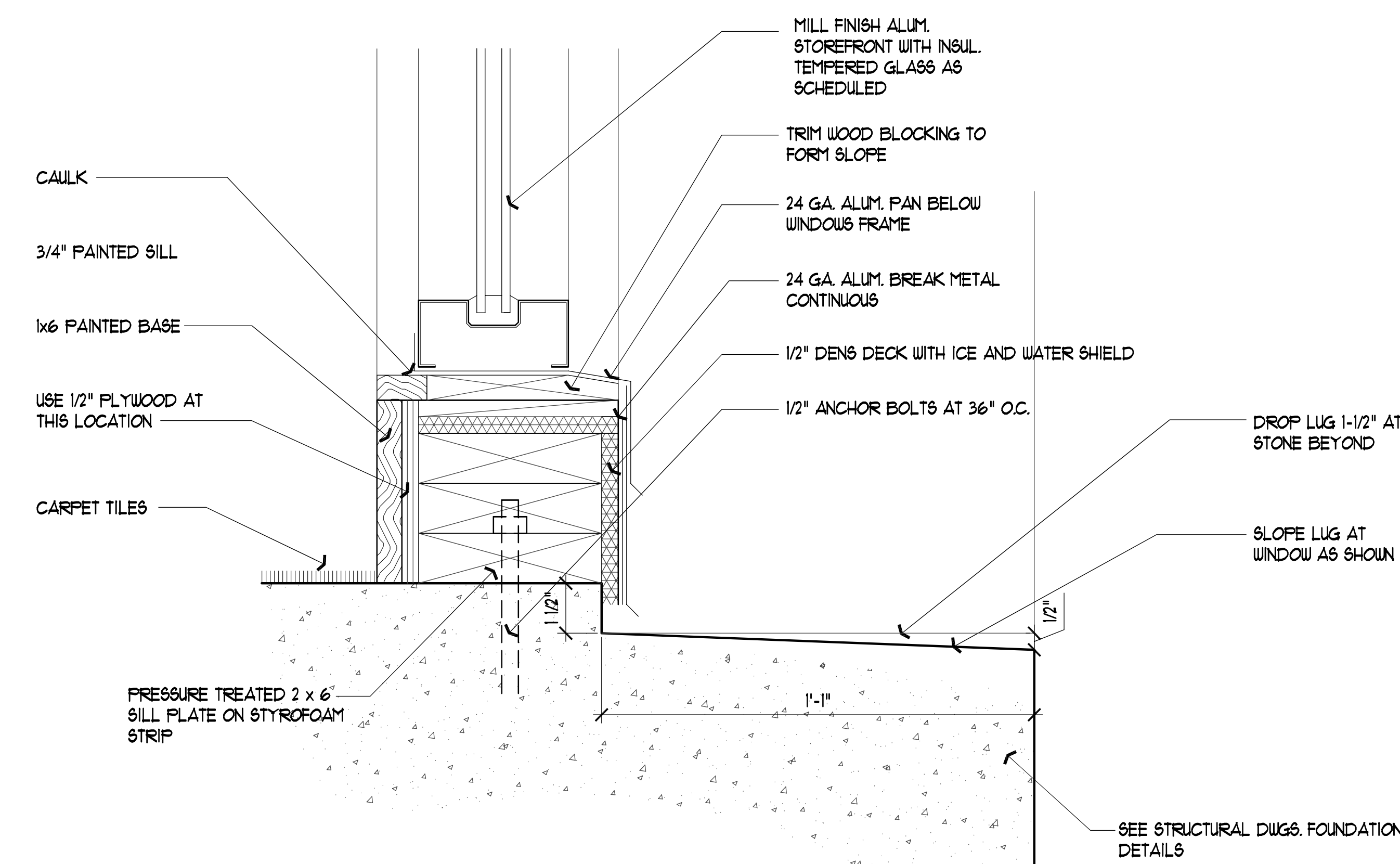
17 OF 18
Date: NOV 16, 2012



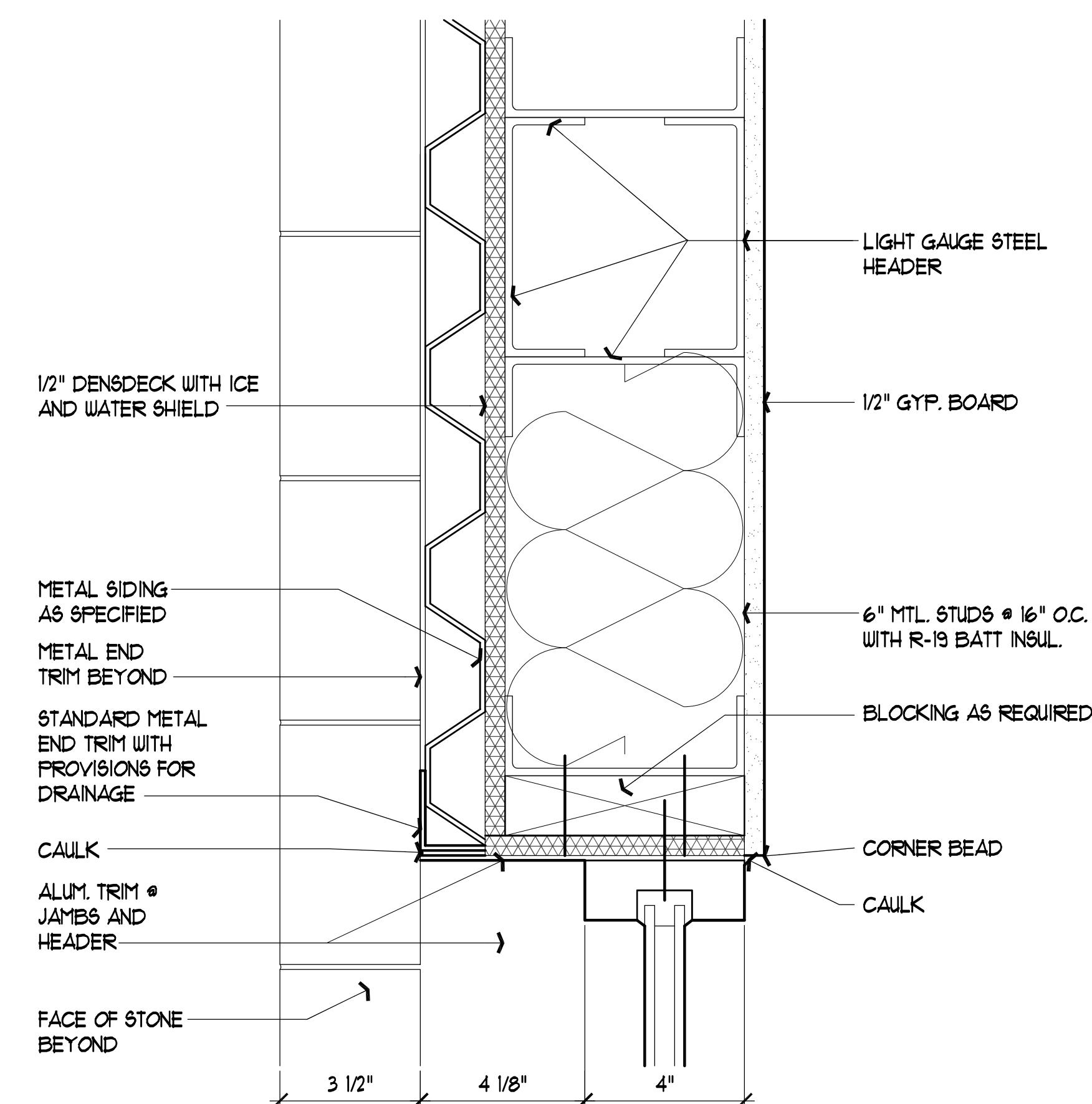
1 JAMB AT WINDOW
SCALE: 3" = 1'-0"



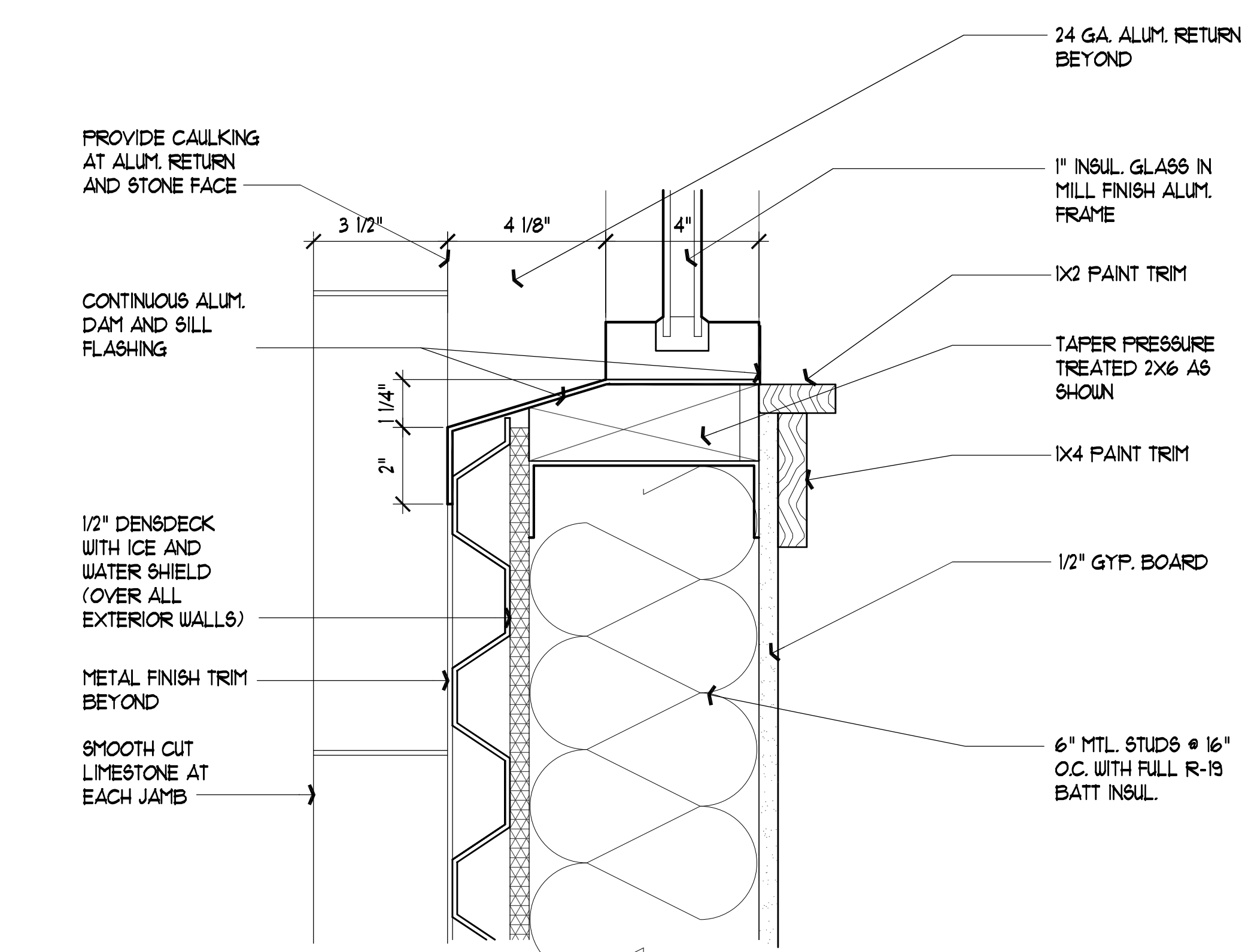
4 BASE DETAIL
SCALE: 3" = 1'-0"



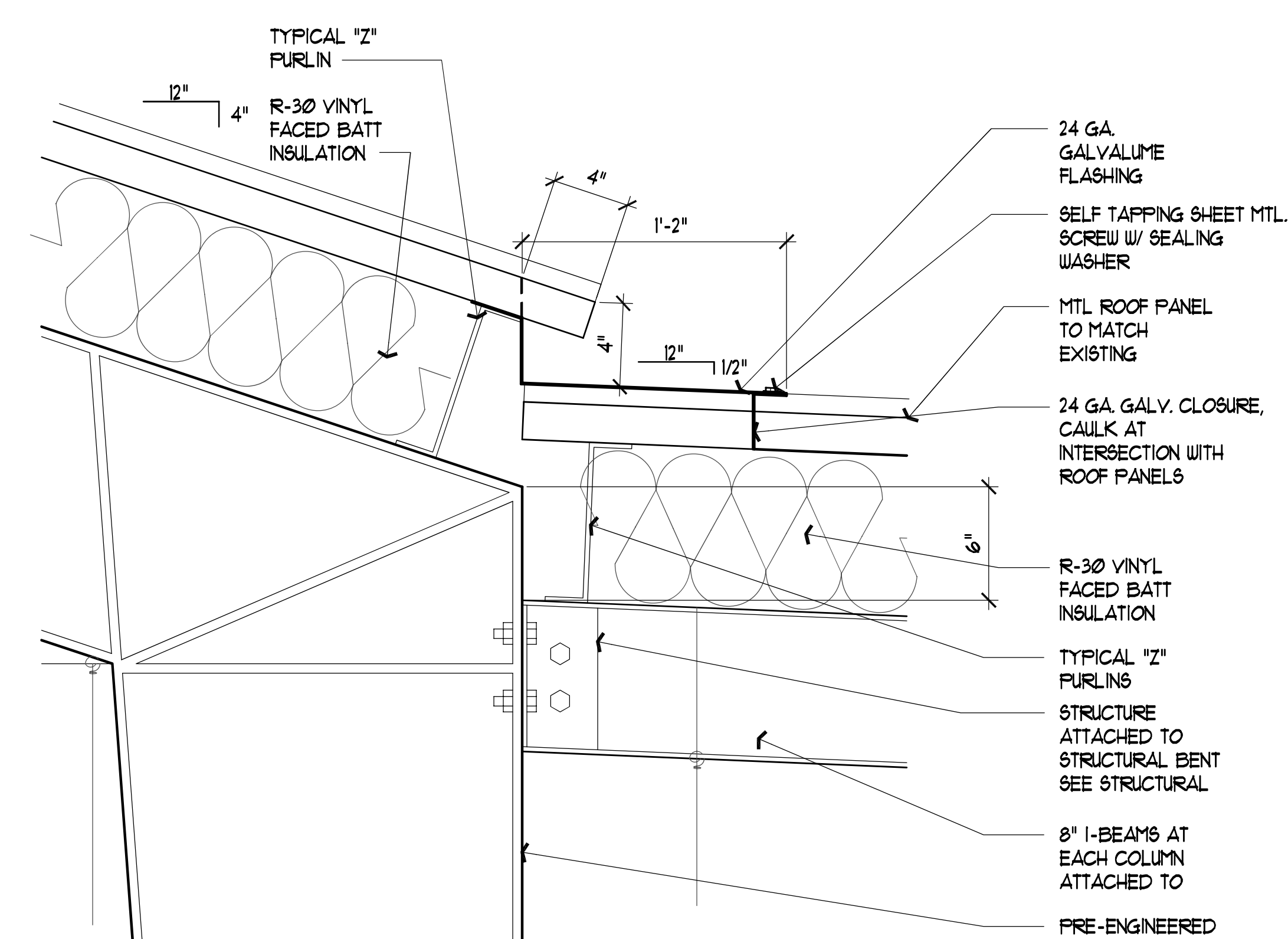
6 DETAIL AT NORTH WALL
SCALE: 3" = 1'-0"



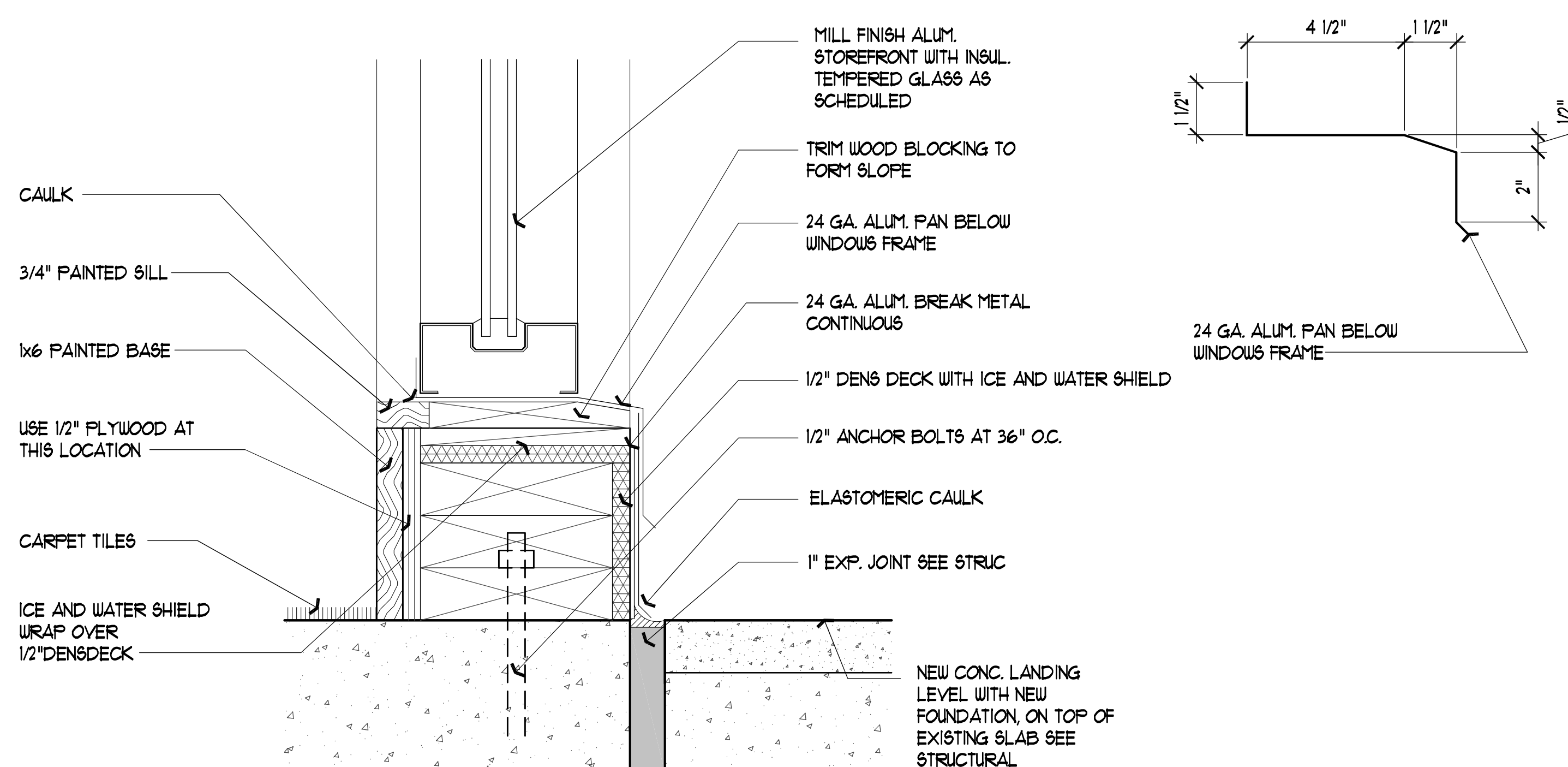
2 HEADER DETAIL
SCALE: 3" = 1'-0"



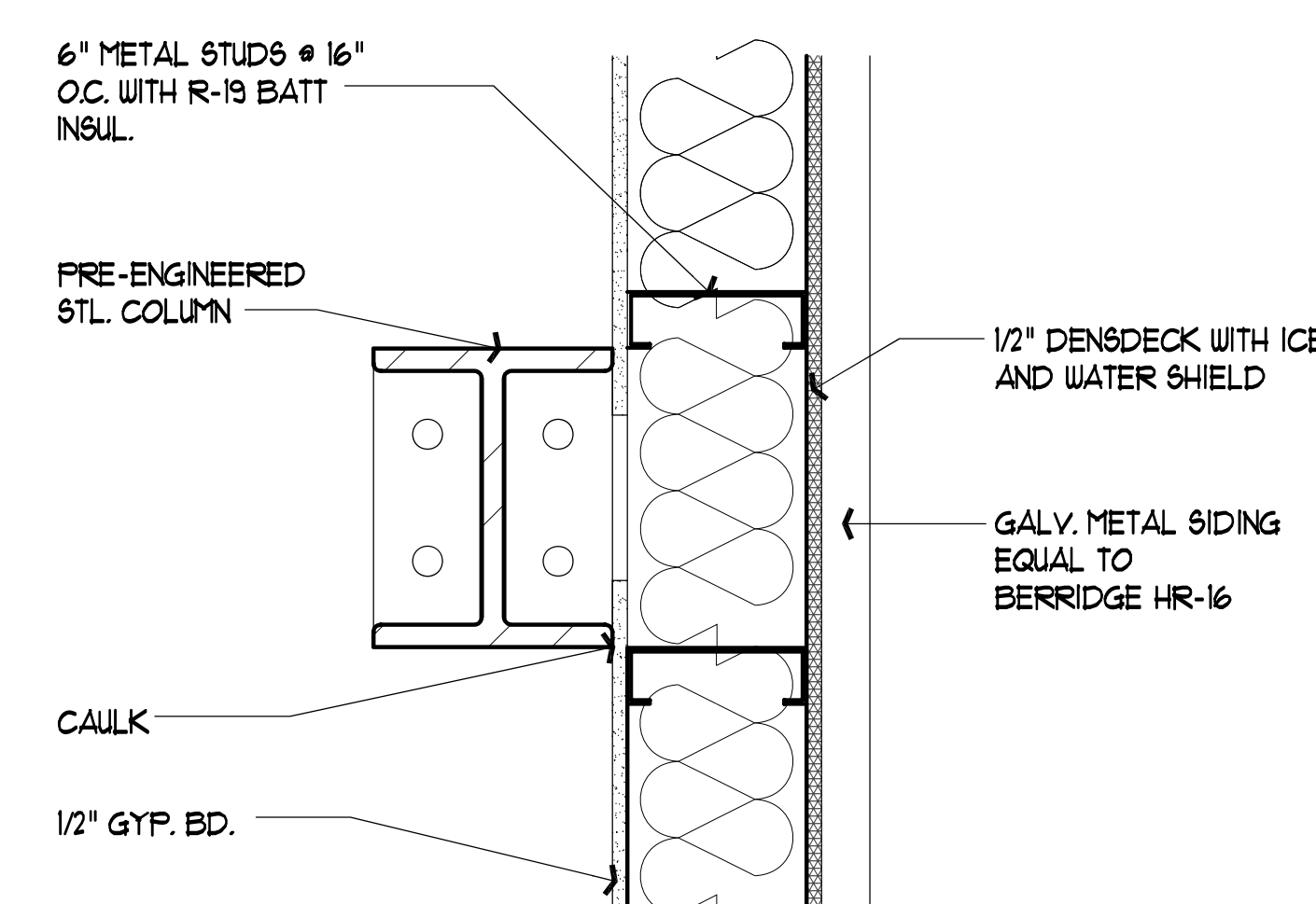
5 SILL DETAIL AT WINDOW
SCALE: 3" = 1'-0"



7 DETAIL
SECTION
SCALE: 1 1/2" = 1'-0"



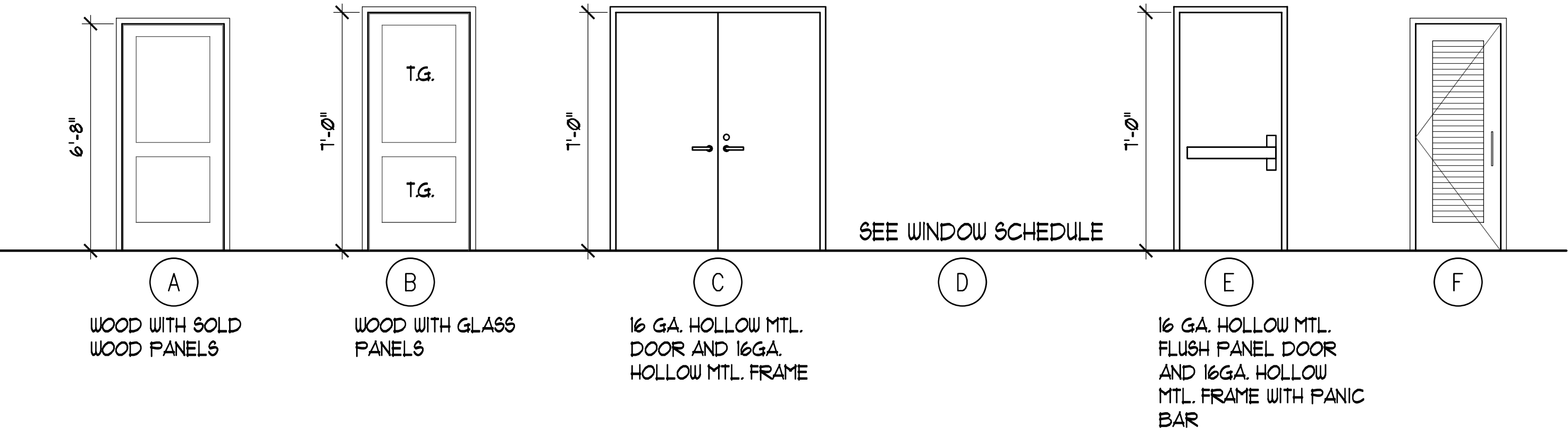
3 BASE DETAIL AT WEST ENTRY WALL FROM EXISTING PORCH
SCALE: 3" = 1'-0"



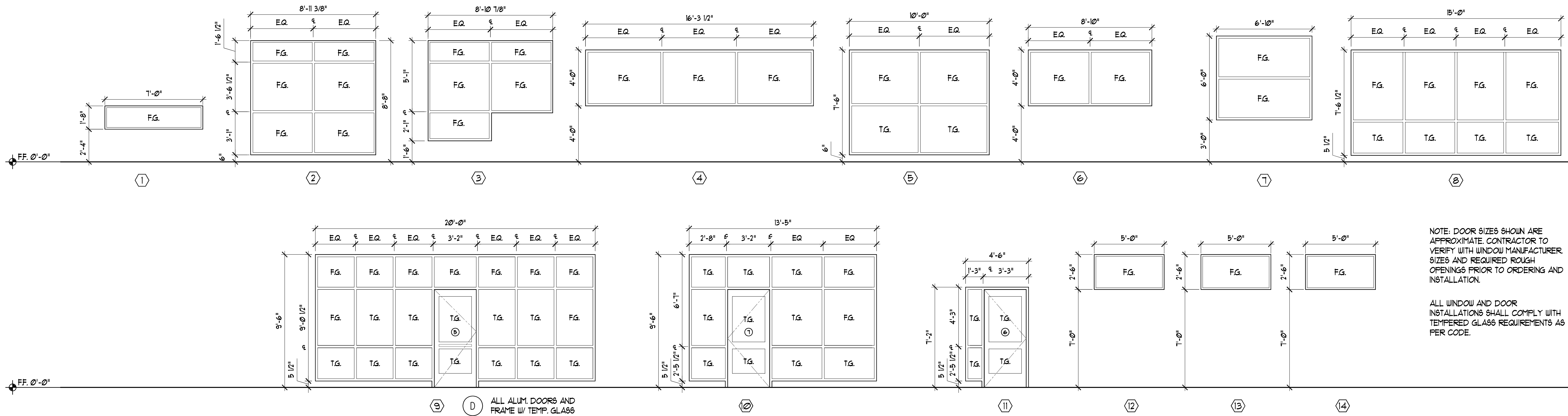
8 DETAIL AT STEEL COLUMN TYP.
PLAN
SCALE: 1 1/2" = 1'-0"

ROOM FINISH SCHEDULE L.O.P. - LIGHT ORANGE PEEL											
No	Room Name	Flooring	Base	WTexture	North Wall	East Wall	South Wall	West Wall	Ceiling	Ceiling Ht.	REMARKS
101	CHILDREN'S WING	C.S.	WOOD	FF	GWB-PT	GWB-PT	GWB-PT	GWB-PT	EXP. STRUC.	VARIES	
102	MECHANICAL ROOM	CONC.	WOOD	L.O.P.	GWB-PT	GWB-PT	GWB-PT	GWB-PT	GWB-PT	10'-0"	
103	MEETING ROOM	C.S.	WOOD	FF	GWB-PT	GWB-PT	GWB-PT	GWB-PT	GWB-PT	9'-6"	
104	WOMEN'S RESTROOM	V.T.	C.T.	FF	GWB-PT	GWB-PT	GWB-PT	GWB-PT	GWB-PT	9'-6"	C.T. WAINSCOTING UP TO 3'-4"
105	MEN'S RESTROOM	V.T.	C.T.	FF	GWB-PT	GWB-PT	GWB-PT	GWB-PT	GWB-PT	9'-6"	C.T. WAINSCOTING UP TO 3'-4"
106	CORRIDOR	C.S.	C.T.	FF	GWB-PT	GWB-PT	GWB-PT	GWB-PT	GWB-PT	9'-6"	
107	JAN CLOSET	V.T.	C.T.	FF	GWB-PT	GWB-PT	GWB-PT	GWB-PT	GWB-PT	9'-6"	
DOOR SCHEDULE											
				DOOR				FRAME			
No.	Width	Height	Room Name	Type	Cons	Glass	Finish	Thick	Cons	Finish	REMARKS
1	3'-0"	7'-0"	MECHANICAL ROOM	C	STEEL	-	PAINT	1-3/4"	STEEL	PAINT	1/6 GA. HOLLOW MTL. DOOR AND FRAME
2	2'-6"	6'-8"	STORAGE CLOSET	A	WOOD	-			WOOD		SEE DOOR TYPE SCHED
3	2'-6"	6'-8"	STORAGE CLOSET	A	WOOD	-					SEE DOOR TYPE SCHED
4	2'-6"	6'-8"	HVAC CLOSET	F	WOOD	-					LOUVERED DOOR
5	3'-0"	7'-0"	EXIT TO NORTH PORCH	D	ALUM.	TEMP.	SEAL-CLEAR		ALUM.	MILL	DOORS W/ EXIT DEVICE
6	3'-0"	7'-0"	HALL	B	WOOD	TEMP.					NAT. FINISH MAPLE W/ GLASS PANELS
7	3'-0"	7'-0"	MEETING ROOM	B	WOOD	TEMP.					NAT. FINISH MAPLE W/ GLASS PANELS
8	2'-6"	6'-8"	STORAGE CLOSET	A	WOOD	-	PAINT		WOOD	PAINT	NAT. FINISH MAPLE W/ SOLID PANELS
9	2'-6"	6'-8"	STORAGE CLOSET	A	WOOD	-					NAT. FINISH MAPLE W/ SOLID PANELS
10	2'-6"	6'-8"	STORAGE CLOSET	A	WOOD	-					NAT. FINISH MAPLE W/ SOLID PANELS
11	3'-0"	6'-8"	JANITORS CLOSET	A	WOOD	-					NAT. FINISH MAPLE W/ SOLID PANELS
12	3'-0"	6'-8"	MEN T/R		WOOD		SEAL-CLEAR		ALUM.	MILL	REUSE EXISTING DOOR
13	3'-0"	6'-8"	WOMEN T/R		WOOD						REUSE EXISTING DOOR
14	3'-0"	7'-0"	EMERGENCY EXIT	E	STEEL	-	PAINT		STEEL	PAINT	1/6 GA. HOLLOW MTL. DOOR AND FRAME

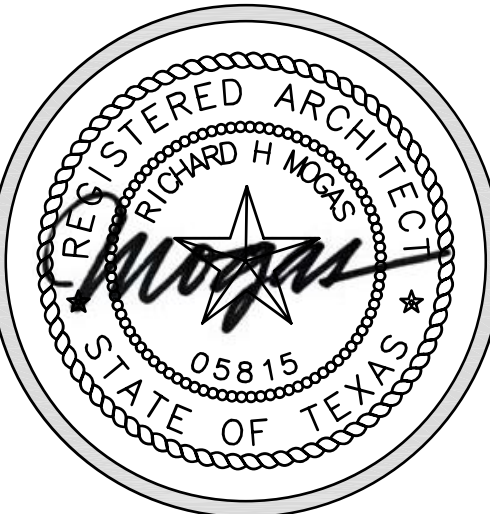
FINISH LEGEND	
FLOORING	
CONCRETE: UNFINISHED	
B.C.: BURNISHED CONCRETE	
C.S.: CARPET SQUARES	
V.T.: VINYL TILE	
BASE:	
WOOD: 1 X 6 WOOD BASE-PREP & PAINT	
C.T.: CERAMIC TILE	
WALLS:	
GWB-PT: 1/2" GYPSUM WALL BOARD PAINTED BENJAMIN MOORE OR EQUAL AS SPECIFIED. GREEN WALL BOARD IN RESTROOMS.	
C.T.: 4" X 4" WHITE GLAZED CERAMIC WALL TILE WITH WHITE GROUT	
FF: FULL FLOAT	
L.O.P.: LIGHT ORANGE PEEL	
CEILING:	
ACT: 2X4 ACOUSTIC CEILING TILES	
GWB-PT: 5/8" GYPSUM WALL BOARD PAINTED BENJAMIN MOORE OR EQUAL AS SPECIFIED.	



1 DOOR TYPES SCHEDULE
SCALE: 1/4" = 1'-0"



2 WINDOW SCHEDULE
SCALE: 1/4" = 1'-0"



Expiration Date: 11/26/12

RICHARD MOGAS
ARCHITECTURE AIA
317 LENOX AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
710.226.2225 F.710.226.1846 WWW.RICHARDMOGAS.COM
MOGAS@RMOGAS.COM COMMERCIAL - RESIDENTIAL - REMODEL

Proposal for 2013-1
LEON VALLEY LIBRARY
CHILDREN'S WING ADDITION
6425 Evers, Leon Valley, Texas 78238

**DOOR, WINDOW & ROOM
SCHEDULE**

SHEET TITLE

SHEET:
A-8.1
18 OF 18
Date: NOV 16, 2012

CONSTRUCTION DOCUMENTS